



MPAA
STUDIO

TOWN PLANNING REPORT

Construction of two dwellings
1\TP434787V, Langford Street, Edenhope
ISSUED JANUARY 2025

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1 Dispensary Lane, Warrnambool
Level 1, CoLab (above Allee Espresso)

OVERVIEW

Background

Address	Langford Street, Edenhope
Lot Description	Lot 1 on Title Plan 434787V Volume 08909 Folio 023

Relevant Planning Controls

Municipal Planning Strategy	Clause 02.01 Context Clause 02.02 Vision Clause 02.03 Strategic directions
Planning Policy Framework	Clause 11 Settlement Clause 15 Built Environment and Heritage Clause 16 Housing Clause 18 Transport Clause 19 Infrastructure
Zone	Township Zone
Overlays	None applicable
Particular Provisions	Clause 52.06 Car Parking Clause 55 Two or more dwellings.
Other Relevant Documents	Wimmera Southern Mallee Regional Economic Development Strategy (2022) West Wimmera Economic Development Strategy (2024-2029)

Permit Application Details

Description of Proposal	Construction of two dwellings
Permit requirement	Clause 32.05-8: Township Zone - Construction of two or more dwellings on a lot.



QUALITY ASSURANCE

Town Planning Report

Construction of two dwellings

1\TP434787V Langford

Street, Edenhope

Project Number

25-1474

Revision

02

Prepared By

AP

Project Lead

SM

Issued

20 January 2025

Revision	Date	Issue
01	15 January 2025	Draft issued to client
02	20 January 2025	Final for lodgement



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1. INTRODUCTION

This report has been prepared by MPAA Studio, on behalf of West Wimmera Shire Council, in support of a planning permit application for the construction of two (2) dwellings on a lot at Langford Street, Edenhope.

The proposal seeks to make use of surplus land within Edenhope to provide for key worker housing, to address a critical need within the community. The proposal seeks to provide two dwellings on the land intended to be used for key worker housing.

The proposal provides a site responsive use of the land that directly responds to the provisions of state and local planning policy and complies with the West Wimmera Planning Scheme.

Accordingly, the proposal triggers the following permit requirements:

- Clause 32.05-8: Township Zone - Construction of two or more dwellings on a lot.

Having considered the proposal with respect to the West Wimmera Planning Scheme, it is the conclusion of this report that the proposal is consistent with both state and local planning policy. As such, this report recommends, and requests Council issues a permit for the proposal.

The following documents should be read in conjunction with this report and are provided as part of the application:

- Certificate of title
- Town Planning Drawings
- Clause 55 Assessment

1.1. Limitations

This report has considered the following documents:

- West Wimmera Planning Scheme (Planning Scheme last updated by [VC273](#) on Thursday 19 December 2024).



2. SITE AND SURROUNDS

2.1. Site description and title particulars

Site address	Langford Street, Edenhope
Title details	Lot 1 on Title Plan 434787V Volume 08909 Folio 023
Site description	<p>The Site comprises a generally rectangular shaped allotment, comprising an area of approximately 1012 square metres, located on the northern side of Langford Street.</p> <p>The land is generally flat, and is partially developed with a former hall and car parking area, accessed via an existing crossover at the western end of property frontage to Langford Street. The land is not currently used for any purpose.</p>
Easements, restrictions or covenants	The land is not subject to any easements, restrictions or covenants.

Refer to Appendix A - Certificate of Title.

2.2. Site context

The Site is located in the southwestern residential area of Edenhope, approximately 300 metres from the commercial area along Elizabeth Street to the northwest. Land uses nearby to the site include dwellings on adjoining land to the west and north, with the Edenhope Early Childhood Service located to the east.

In the broader locality, uses are typical of the township zoning and include a range of uses such as a petrol station and carwash approximately 200 metres to the east, hotels, shops and cafes to the northwest, and agricultural land to the south. Lake Wallace is located to the north of the town and comprises substantial open space and recreation areas.



3. PROPOSAL

3.1. Overview

The proposal seeks to develop two dwellings on the land, to be used for key worker accommodation.

Key details of the dwellings are as follows:

Design and siting

Each dwelling comprises a single storey design, with a maximum height of no more than 5 metres.

The dwellings are to be provided with separate access and crossovers, to allow for independent access to each dwelling.

The southern dwelling is to be setback 6.8 metres to the Langford Street boundary to the south, with the attached garage setback 8 metres from the same boundary. Both dwellings are setback 1.2 metres from the western property boundary, and 7.5 metres from the eastern property boundary. The northern dwelling is to be setback 3.3 metres from the northern property boundary.

The design utilises pitched roofs at 25 degrees, constructed of Colorbond sheeting, with solar panels located on the west facing roof. The dwellings are to be clad in brickwork.

It is intended to provide 1.8m Colorbond perimeter fencing on the boundaries of the site (except the Langford Street frontage) and between the dwellings to provide for separation between the two dwellings.

Floor plan

Each dwelling is provided with:

- Entry and porch
- Attached double garage
- Bedroom 1 which comprises an ensuite and built in robe
- Bedroom 2 comprising a built in robe
- Bedroom 3 which includes a desk nook
- Bathroom and laundry
- Open plan kitchen, living and dining area
- Alfresco area with direct access to the living area and rear yard.

Refer to Town Planning Drawings for full details of proposed dwellings.

3.2. Planning permit triggers

In accordance with the provisions of the West Wimmera Planning Scheme, the proposal triggers the following planning permit requirements:

- Clause 32.05-8: Township Zone - Construction of two or more dwellings on a lot.



4. PLANNING POLICIES AND CONTROLS

4.1. Municipal Planning Strategy

The Municipal Planning Strategy (MPS) sets out the municipal context, outlines the Council vision, and provides for strategic directions for planning with a focus on specific areas and issues within West Wimmera. The most relevant clauses within the MPS are set out below.

[Clause 02.01 Context](#)

The West Wimmera Shire straddles the Western and Wimmera Highways, midway between Melbourne and Adelaide. Occupying an area of approximately 9000 square kilometres, West Wimmera Shire is one of the largest municipalities in Victoria. Despite its land size the Shire has a small population of 3903 persons as of the 2016 census. Edenhope is identified as one of the predominate towns, alongside Apsley, Goroke, Harrow and Kaniva.

[Clause 02.02 Vision](#)

West Wimmera Shire's Vision 2017-2020 is to ensure the municipality's communities are healthy, thriving, diverse, harmonious, prosperous and self-sustaining, with regional and global connectivity.

Clause 02.03 Strategic directions

Relevant local strategic directions for this application are as follows:

[Clause 02.03-1 Settlement](#)

Edenhope: Edenhope is the administrative centre for the Shire. The town has a compact commercial area offering convenience and weekly shopping. Industrial activities are concentrated in the east of the town, with some service industries on the southern edge of the commercial area.

Edenhope is located on the shores of Lake Wallace, which has been integral in the formation of the character of the township. The Lake provides recreation opportunities as well as providing a unique residential amenity.

Key strategic directions include:

- Provide sufficient land and direct growth to the major townships of Edenhope, Kaniva, Goroke, Apsley, and Harrow.
- Enhance the roles of the major townships of Edenhope, Kaniva, Goroke, Apsley, and Harrow as the service and business centres for the Shire and as focal points for communities.
- Minimise any detrimental impact of development on the landscape, the environment and existing character.

[Clause 02.03-5 Built environment and heritage](#)

Built environment: Maintaining the valued built form aspects of the municipality helps to provide character and identity to townships and landscapes and in certain situations contributes to the tourism potential of the municipality. Where the built form character of an area is established and valued, new development should respect this character and add to the overall quality of the urban environment as well as incorporating the principles of Environmentally Sensitive Design.

Landscaping is an integral and valued component of West Wimmera's urban environment. Good landscape design enhances the quality of the urban environment and contributes to the continuity and connectivity of township character. When we plan our townships, greater consideration should be given to the value of landscape design.

Key strategic directions include:

- Facilitate built form and public spaces that are safe, healthy, functional and enjoyable and contribute to a sense of place and cultural identity.
- Encourage energy saving, water conservation, and the principles of Environmentally Sustainable Design to be incorporated into development.
- Increase vegetation across the municipality.



- Ensure that development creates and maintains a landscape setting that supports the amenity, attractiveness and safety of the public realm.

[Clause 02.03-6 Housing](#)

As the population ages a more diverse range of housing is required. Provision also needs to be made for housing that can be adapted to cater for people with disabilities when the need arises. Urban consolidation is encouraged in areas that have the physical infrastructure, community facilities and commercial facilities to support the population. Strategic directions include:

- Encourage increased housing densities in existing settlements.
- Encourage a diversity of housing types and lot sizes to meet the needs of all residents and visitors to the municipality.
- Facilitate more affordable housing options in the municipality.

See **Section 5.2.1** for an assessment of the application against the Municipal Planning Strategy.

4.2. Planning Policy Framework (PPF)

To ensure the overarching objectives of planning in Victoria are met, policies contained within the Planning Policy Framework (PPF) must be considered. The PPF clauses and key strategies of most relevance to the Site and the proposal are set out below.

[Clause 11.01-1S Settlement](#)

To promote the sustainable growth and development of Victoria and deliver choice and opportunity for all Victorians through a network of settlements.

[Clause 11.01-1R Settlement - Wimmera Southern Mallee](#)

Support the ongoing growth and development of Edenhope, Hopetoun, Nhill, St Arnaud, Stawell and Warracknabeal as the key service hubs in their sub-regional communities of interest.

[Clause 11.02-1L-01 Settlement - Edenhope](#)

Key strategies for Edenhope include:

- Promote low density and rural living development in lifestyle living areas, as identified on the Edenhope Framework Plan.



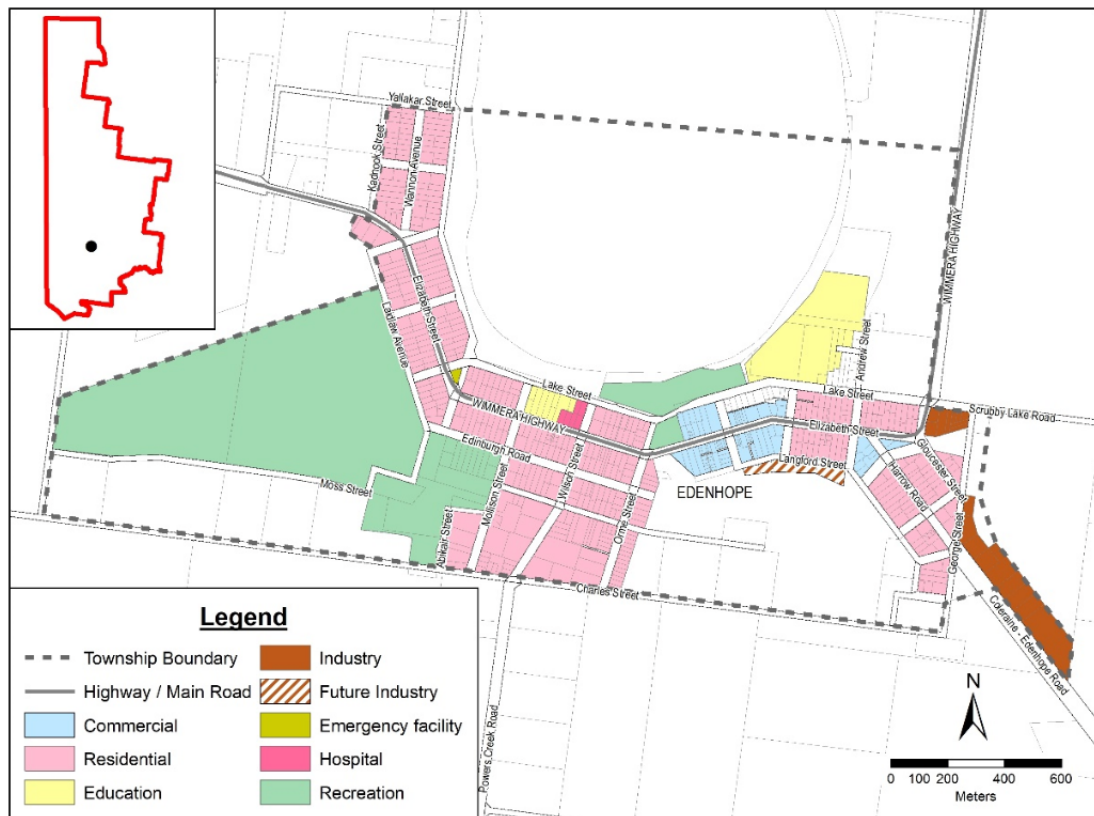


Figure 1: Edenhope Framework Plan

[Clause 15.01-2S Building Design](#)

To achieve building design and siting outcomes that contribute positively to the local context, enhance the public realm and support environmentally sustainable development.

[Clause 15.01-5S Neighbourhood character](#)

To recognise, support and protect neighbourhood character, cultural identity and sense of place.

[Clause 16.01-1S Housing supply](#)

To facilitate well-located, integrated and diverse housing that meets community needs.

[Clause 16.01-2S Housing affordability](#)

To deliver more affordable housing closer to jobs, transport and services.

[Clause 18 Transport](#)

Planning should ensure a safe, integrated and sustainable transport system that:

- Provides access to social and economic opportunities to support individual and community wellbeing.
- Facilitates economic prosperity.
- Actively contributes to environmental sustainability.
- Facilitates network-wide efficient, coordinated and reliable movements of people and goods.
- Supports health and wellbeing.

[Clause 19.03-2S Infrastructure design and provision](#)

To provide timely, efficient and cost-effective development infrastructure that meets the needs of the community.

[Clause 19.03-3L Integrated water management](#)

Control urban run-off to protect and enhance waterways.

Reduce sediment and nutrients entering waterways.

See **Section 5.2.1** for an assessment of the application against the Planning Policy Framework.

4.3. Township Zone

The Site is located within the Township Zone. The purpose of [Clause 32.05](#) General Residential Zone is:

- To provide for residential development and a range of commercial, industrial and other uses in small towns.
- To encourage development that respects the neighbourhood character of the area.
- To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.

Pursuant to Clause 32.05-8, a permit is required to construct two or more dwellings on a lot. A development must meet the requirements of Clause 55.

There are no specific **Application requirements** listed in the Zone. **Decision guidelines** are listed at Clause 32.05-14.

See **Section 5.2.2** for an assessment of the application against the Township Zone.

4.4. Overlays

The Site is not located within any overlays

4.5. Particular Provisions

4.5.1. [Clause 52.06 Car Parking](#)

The purposes of Clause 52.06 include:

- To ensure the provision of an appropriate number of car parking spaces having regard to the demand likely to be generated, the activities on the land and the nature of the locality.
- To support sustainable transport alternatives to the motor car.
- To promote the efficient use of car parking spaces through the consolidation of car parking facilities.
- To ensure that car parking does not adversely affect the amenity of the locality.
- To ensure that the design and location of car parking is of a high standard, creates a safe environment for users and enables easy and efficient use.

Clause 52.06 applies to an application for a new use. Before a new use commences, the number of car parking spaces required under Clause 52.06-5 must be provided to the satisfaction of the responsible authority. A permit is required to reduce the number of car parking spaces required under Clause 52.06-5.

The table at Clause 52.06-5 states for dwellings with three bedrooms, two car parking spaces must be provided, with one space being undercover.

Pursuant to Clause 52.06-3, there is no requirement for a planning permit under the provisions of the clause.



4.5.2. [Clause 55 Two or More Dwellings on a Lot](#)

Clause 55 is applicable to the application as two or more dwellings are proposed on one lot. The purpose of this particular provision is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To achieve residential development that respects the existing neighbourhood character or which contributes to a preferred neighbourhood character.
- To encourage residential development that provides reasonable standards of amenity for existing and new residents.
- To encourage residential development that is responsive to the site and the neighbourhood.

A Clause 55 Assessment has been provided at **Appendix C** to demonstrate compliance with the objectives.

4.6. Other planning considerations

4.6.1. [Aboriginal Cultural Heritage Sensitivity](#)

The Site is identified as being an 'area of cultural heritage sensitivity' pursuant to the Aboriginal Heritage Regulations 2018. These areas relate to landforms and soil types where Aboriginal places are more likely to be located.

A Cultural Heritage Management Plan (CHMP) is required for an activity if the activity is a 'high impact activity' and falls in whole or part within an area of cultural heritage sensitivity. Division 2 of the Aboriginal Heritage Regulations 2018 set out various exempt activities for which a CHMP is not required. The construction of one or two dwellings is an exempt activity.

A CHMP is therefore not required for this proposal.

4.6.2. [Wimmera Southern Mallee Regional Economic Development Strategy \(2022\)](#)

The Wimmera Southern Mallee Regional Economic Development Strategy (the Wimmera Southern Mallee REDS) sets out the medium- to long-term strategic directions for driving economic growth and development in the broader Wimmera Southern Mallee region (comprising the Local Government Areas of Hindmarsh, Horsham, Northern Grampians, West Wimmera and Yarriambiack).

The Wimmera Southern Mallee REDS defines four strategic directions for economic development in the region, based on comprehensive data analysis and review of existing policies and strategies:



Figure 2: Wimmera Southern Mallee REDS Strategic Directions

Housing challenges, including the lack of availability of housing and housing affordability, is a key challenge identified in attracting essential and skilled workers in all but one of the four strategic direction areas identified in the REDS. For some industries (such as skilled workers for renewable energy generation), this is particularly exacerbated in the Wimmera.

4.6.3. West Wimmera Economic Development Strategy (2024-2029)

The West Wimmera Economic Development Strategy (WWEDS) sets out the vision for the economy of West Wimmera Shire Council, and the strategies and actions to achieve that overarching vision. The WWEDS is deliberately aligned to the REDS to support the regional strategic directions.

The Vision and supporting Economic Development Pillars are provided below:



Figure 3: Vision and Supporting Pillars, WWEDS

Key recommendations to implement Pillar 2 Liveability and Amenity include:

- Advocate for worker accommodation.
- Identify initiatives to addressing housing shortage.

5. PLANNING ASSESSMENT

5.1. Overview

The following chapter outlines the key planning considerations of the proposal in response to relevant policy and the provisions of the West Wimmera Scheme. In summary, the following key considerations are relevant to the assessment of the proposal:

- Is the proposal consistent with the Municipal Planning Strategy and the Planning Policy Framework?
- Does the proposal appropriately respond to the Township Zone?
- Does the proposal appropriately respond to the relevant particular provisions?
- Does the proposal provide for a net community benefit?

5.2. Key considerations

5.2.1. Is the proposal consistent with the Municipal Planning Strategy and the Planning Policy Framework?

The proposal requires assessment under the Planning Policy Framework (PPF) and Municipal Planning Strategy (MPS) of the West Wimmera Planning Scheme.

The proposal seeks to support the identified need for key worker accommodation within Edenhope. The proposal effect to both the West Wimmera Economic Development Strategy and the Wimmera Southern Mallee REDS, which both identify housing affordability as one of the key economic challenges of the area (Clause 16.01-1L **Housing supply** and Clause 16.01-2S **Housing affordability**).

The two dwellings will contribute to the available accommodation within Edenhope, and are well located with excellent walkability to key facilities of the town including commercial areas to the east, services (including Edenhope College) and recreation areas located around Lake Wallace. The dwellings are located in an area identified for residential use within the Edenhope Framework Plan, and are considered appropriate having regard to the nearby uses which also include dwellings (Clause 02.01 **Context**, Clause 02.02 **Vision**, Clause 02.03-1 **Settlement** and Clause 02.03-1L-02 **Settlement - Edenhope**).

The proposed dwellings are conventional in design, comprising a single storey form, and are well suited to the surrounding low scale character of development within Edenhope. The dwellings strike a balance with providing a higher density of dwellings to support the provision of worker accommodation, whilst also providing a development which complements and integrates with the surrounding neighbourhood character.

Consistent with the Municipal Planning Strategy, the proposed dwellings are intended to be providing with landscaping, to and support the enhancement of the quality of the urban environment and township character of Edenhope (Clause 02.03-5 **Built environment and heritage**, Clause 15.01-5S **Neighbourhood character**).

The proposal is generally considered to be consistent with the PPF and MPS.

5.2.2. Does the proposal appropriately respond to the Township Zone?

The purpose of the Township Residential Zone includes to provide for residential development in small towns which respects the neighbourhood character of the area.

The proposal seeks to contribute to housing supply and affordability, and is compatible with the surrounding scale and neighbourhood character of the area, whilst also providing for critical worker accommodation.

The proposal is generally considered to meet the purpose and decision guidelines of the Township Zone.



A response to the relevant decision guidelines of Clause 32.05-14 is provided below.

Decision Guideline	Response
General Issues	
The Municipal Planning Strategy and the Planning Policy Framework	Please refer to Section 5.2.1 of this report.
The protection and enhancement of the character of the town and surrounding area including the retention of vegetation.	The proposed dwellings are to be provided with landscaping to enhance the character of the locality.
The availability and provision of utility services, including sewerage, water, drainage, electricity and telecommunications.	The Site comprises access to services including reticulated sewer and water, power and telecommunication. It is anticipated stormwater will be managed to the satisfaction of the responsible authority.
The design, height, setback and appearance of the proposed buildings and works including provision for solar access.	The design, height, setback and appearance of the proposed dwellings will integrate with the varied built form character of dwellings in Edenhope. The dwellings make good use of the solar access of the Site to provide rooftop solar energy systems.
The impact of overshadowing on existing rooftop solar energy systems on dwellings on adjoining lots in a Township Zone.	The dwellings are single storey and are well located on the site as to not cause any future issues relating to overshadowing of solar energy systems.
Dwellings, small second dwellings and residential buildings	
For two or more dwellings on a lot, dwellings on common property and residential buildings, the objectives, standards and decision guidelines of Clause 55.	The proposal has considered Clause 55 objectives. A Clause 55 assessment is provided as part of this planning application.

5.2.3. Does the proposal appropriately respond to the relevant particular provisions?

Clause 52.06 Car Parking

The proposal considers Clause 52.06 as appropriate. Each dwelling contains three (3) bedrooms and therefore requires two (2) car parking spaces, with one (1) space undercover.

The proposal provides for a double garage for each dwelling, designed and integrated into the dwelling. The garages exceed the minimum requirements for the sizes of garages, and will provide practical car parking for each dwelling. The proposal is considered to comply with the provisions of Clause 52.06 Car Parking.

Clause 55 Two or more dwellings on a lot

The proposal has considered the relevant standards and objectives of Clause 55. It was found that the development has provided a good response to these considerations, complying with all objectives and with only minor variations to a small number of standards.

A full detailed assessment is provided as part of the application at Appendix C.



5.2.4. Does the proposal provide for a net community benefit?

In accordance with Section 60 of the Planning and Environment Act 1987, this report has considered the West Wimmera Planning Scheme. The objectives of planning in Victoria have been considered, particularly the objectives to provide for the fair, orderly, economic and sustainable use and development of land, and to balance the present and future interests of all Victorians.

This report has assessed the proposal against the relevant objectives, strategies and policies of the Planning Policy Framework, the Municipal Planning Strategy, and the purpose of the Township Zone. The proposal constitutes orderly planning and will be a valued addition to the housing supply of Edenhope, to support key worker housing. The proposal therefore provides for a net community benefit.

The proposal responds well to the decision guidelines of Clause 65.01.



6. Conclusion

This report has described the proposed application for two dwellings, and has made an assessment against the relevant policy and planning controls of the West Wimmera Planning Scheme.

The current allotment provides an opportunity for development due to its location close to services and amenities within Edenhope, and will contribute to additional housing in an area that is suitable for development. The design response considers the existing locality, and it is noted that the size of the dwellings is in proportion to surrounding character.

The proposal supports the provision of key worker housing within Edenhope, consistent with West Wimmera Economic Development Strategy and the Wimmera Southern Mallee REDS.

It is the conclusion of this report that the application is consistent with the purposes and intent of the planning controls and policy framework of the West Wimmera Planning Scheme. It follows as the recommendation and request of this report that Council issue a planning permit for the proposal.

We look forward to working with Council during the assessment of the application.

Amanda Power

Associate, MPAA Studio

20 January 2025



APPENDICES

Appendix A	Certificate of Title
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Appendix B	Town Planning Drawings
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Appendix C	Clause 55 Assessment
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REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

Page 1 of 1

VOLUME 08909 FOLIO 023

Security no : 124120757234Q
Produced 18/12/2024 11:35 AM

LAND DESCRIPTION

Lot 1 on Title Plan 434787V.
PARENT TITLE Volume 02096 Folio 194
Created by instrument E215568 10/11/1971

REGISTERED PROPRIETOR

Estate Fee Simple
Sole Proprietor

AN473272P 19/01/2017

ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE TP434787V FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: LANGFORD STREET EDENHOPE VIC 3318

ADMINISTRATIVE NOTICES

NIL

eCT Control 09922A WEST WIMMERA SHIRE COUNCIL
Effective from 19/01/2017

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TITLE PLAN		EDITION 1		TP 434787V							
Location of Land Parish: EDENHOPE Township: EDENHOPE Section: 2 Crown Allotment: 8(PT) Crown Portion: Last Plan Reference: Derived From: VOL 8909 FOL 023 Depth Limitation: NIL			Notations ANY REFERENCE TO MAP IN THE TEXT MEANS THE DIAGRAM SHOWN ON THIS TITLE PLAN								
Description of Land / Easement Information				THIS PLAN HAS BEEN PREPARED FOR THE LAND REGISTRY, LAND VICTORIA, FOR TITLE DIAGRAM PURPOSES AS PART OF THE LAND TITLES AUTOMATION PROJECT COMPILED: 11/05/2000 VERIFIED: CP							
<div style="display: flex; align-items: center; justify-content: center;"> </div>											
<table border="1" style="width: 100%;"> <tr> <th colspan="2">TABLE OF PARCEL IDENTIFIERS</th> </tr> <tr> <td colspan="2">WARNING: Where multiple parcels are referred to or shown on this Title Plan this does not imply separately disposable parcels under Section 8A of the Sale of Land Act 1962</td> </tr> <tr> <td colspan="2">PARCEL 1 = CA 8 (PT)</td> </tr> </table>						TABLE OF PARCEL IDENTIFIERS		WARNING: Where multiple parcels are referred to or shown on this Title Plan this does not imply separately disposable parcels under Section 8A of the Sale of Land Act 1962		PARCEL 1 = CA 8 (PT)	
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APPLICATION BY SUCCESSOR CORPORATION

Section 59A Transfer of Land Act 1958

Lodged by:

Name:

Phone: (03) 5585 9900

Address: P O Box 2021 Edenhope VIC 3318

Customer Code: 9922A

AN473272P

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19/01/2017

\$185.40

59



The applicant, being the successor in law to the registered proprietor, applies to be registered as proprietor of the estate and interest of the former body corporate in the land described.

Land: *(title, mortgage, charge or lease)*

SEE SCHEDULE OF TITLES ATTACHED

Applicant: *(full name and address including postcode)*

Grounds of Application:

SUCCESSOR IN LAW TO THE REGISTERED PROPRIETOR

Registered Proprietor: *(full name(s) of former body corporate)*

SEE CERTIFICATE ATTACHED

Date: 12/01/2017

Signature of Applicant

or

Signature of Australian Legal Practitioner
under the *Legal Profession Uniform Law*
(Victoria)
for applicant

X59A

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19/01/2017

\$185.40

\$9



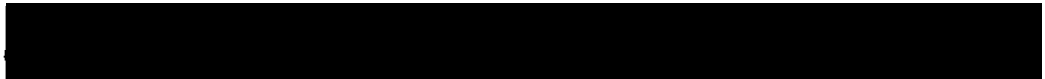
**CERTIFICATE PURSUANT TO
SECTION 59A (2) OF THE *TRANSFER OF LAND ACT 1958***

I,



certify that:

1. I am the

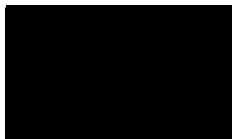


2. The successor body is the successor at law to the body or bodies listed below ("the former body").

3. The property, rights or liabilities of the former bodies have been vested by operation of law in, or become the property, rights and liabilities of the successor body.

Date : 9 January 2017

Signed:



Name(s) of former body or bodies:

THE PRESIDENT COUNCILLORS AND RATEPAYERS OF THE SHIRE OF KOWREE
THE PRESIDENT COUNCILLORS AND RATEPAYERS OF THE SHIRE OF KOWREE
KOWREE SHIRE COUNCIL

THE PRESIDENT COUNCILLORS AND RATEPAYERS OF THE MUNICIPALITY OF THE SHIRE OF KOWREE
THE PRESIDENT COUNCILLORS AND RATEPAYERS OF THE SHIRE OF LOWAN
THE PRESIDENT COUNCILLORS & RATEPAYERS OF THE SHIRE OF KOWREE
THE PRESIDENT COUNCILLORS AND RATEPAYERS OF THE SHIRE OF LAWLOIT
THE PRESIDENT COUNCILLORS AND RATEPAYERS OF THE SHIRE OF KANIVA
PRESIDENT COUNCILLORS AND RATEPAYERS OF THE SHIRE OF KANIVA
KANIVA SHIRE COUNCIL

10007/949	3812/291	8130/816	8532/452	9386/513
10096/475	3940/834	8135/761	8537/476	9394/477
10096/642	4105/846	8145/830	8576/503	9410/979
10139/466	4451/013	8153/235	8668/504	9412/445
10150/646	4512/280	8174/709	8678/850	9421/543
10162/916	4521/052	8178/278	8678/865	9421/797
10183/928	4545/811	8178/665	8713/912	9428/218
10205/241	4545/812	8180/770	8718/473	9428/527
10227/752	4559/660	8186/689	8721/131	9439/877
1609/763	4724/626	8189/918	8723/734	9451/325
1616/151	4810/839	8205/037	8735/335	9457/326
17/244	4968/534	8223/658	8738/059	9463/566
1774/796	5051/191	8239/006	8748/454	9491/791
1863/561	5158/453	8246/335	8750/024	9495/392
1943/465	5252/387	8248/677	8750/081	9495/393
2037/214	5330/911	8249/661	8750/260	9500/430
2093/505	5388/547	8250/683	8753/932	9508/709
2132/251	5567/229	8267/187	8756/401	9545/834
2169/668	5745/838	8271/847	8758/111	9562/473
2175/969	5765/997	8276/958	8824/873	9562/474
2306/099	5771/091	8306/969	8833/232	9562/475
2311/143	5790/893	8308/022	8853/755	9658/623
2334/784	5810/997	8313/581	8853/756	9658/655
2469/757	5813/419	8321/542	8866/354	9707/356
2469/758	5897/377	8323/427	8882/728	9721/092
2503/490	6004/723	8331/109	8895/068	9737/345
2503/491	6136/194	8331/795	8895/069	9784/340
2514/726	6136/195	8340/816	8909/023	9800/906
2514/727	6203/523	8345/892	8912/962	9839/515
2514/728	6208/428	8365/500	8922/953	9857/929
2515/931	6322/391	8366/107	8939/543	9859/413
2568/516	6470/846	8366/108	8995/200	9908/071
2608/468	6626/085	8366/129	9153/104	9908/074
2626/088	7000/966	8371/069	9153/853	
2656/002	7206/074	8376/772	9208/367	
2991/130	7258/586	8378/482	9302/635	
3031/107	7759/175	8379/036	9302/636	
3116/102	7780/173	8382/468	9302/637	
3226/025	7790/191	8382/973	9310/180	
3235/976	7842/171	8384/572	9310/189	
3244/678	7851/055	8384/985	9310/190	
3327/212	7934/101	8395/682	9325/615	
3401/185	8045/842	8398/358	9332/835	
3440/838	8047/515	8398/363	9332/836	
3531/139	8062/315	8415/112	9347/825	
3536/109	8083/348	8422/976	9361/283	
3567/230	8099/218	8454/860	9361/284	
3587/216	8107/757	8473/099	9371/318	
3597/222	8120/896	8493/893	9374/668	
3658/509	8123/546	8503/465	9386/374	

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19/01/2017 \$185.40 59





Planning Enquiries
Phone: (03) 5585 9900
Web: www.westwimmera.vic.gov.au

Clear Form

Office Use Only

Application No.:

Date Lodged: / /

Application for a Planning Permit

If you need help to complete this form, read MORE INFORMATION at the end of this form.

Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*. If you have any questions, please contact Council's planning department.

Questions marked with an asterisk (*) must be completed.

If the space provided on the form is insufficient, attach a separate sheet.

Click for further information.

The Land

Address of the land. Complete the Street Address and one of the Formal Land Descriptions.

Street Address *

Unit No.:	St. No.:	St. Name: Langford Street
Suburb/Locality: Edenhope		Postcode: 3318

Formal Land Description *

Complete either A or B.

This information can be found on the certificate of title.

If this application relates to more than one address, attach a separate sheet setting out any additional property details.

A	Lot No.: 1	<input type="radio"/> Lodged Plan	<input checked="" type="radio"/> Title Plan	<input type="radio"/> Plan of Subdivision	No.: TP434787V
OR					
B	Crown Allotment No.:		Section No.:		
Parish/Township Name:					

The Proposal

You must give full details of your proposal and attach the information required to assess the application. Insufficient or unclear information will delay your application.

For what use, development or other matter do you require a permit? *

Construction of two dwellings (Key worker accommodation)
Clause 32.05-8 (Township Zone)

Provide additional information about the proposal, including: plans and elevations; any information required by the planning scheme, requested by Council or outlined in a Council planning permit checklist; and if required, a description of the likely effect of the proposal.

Estimated cost of any development for which the permit is required *

Cost \$ 1.2 Million


You may be required to verify this estimate. Insert '0' if no development is proposed.

Existing Conditions

Describe how the land is used and developed now *

For example, vacant, three dwellings, medical centre with two practitioners, licensed restaurant with 80 seats, grazing.

Unused hall (part) and car park


 Provide a plan of the existing conditions. Photos are also helpful.

Title Information

Encumbrances on title *

Does the proposal breach, in any way, an encumbrance on title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?

- ☐ Yes (If 'yes' contact Council for advice on how to proceed before continuing with this application.)
- ☒ No
- ☐ Not applicable (no such encumbrance applies).

 Provide a full, current copy of the title for each individual parcel of land forming the subject site. The title includes: the covering 'register search statement', the title diagram and the associated title documents, known as 'instruments', for example, restrictive covenants.

Applicant and Owner Details

Provide details of the applicant and the owner of the land.

Applicant *

The person who wants the permit.

Please provide at least one contact phone number *

Where the preferred contact person for the application is different from the applicant, provide the details of that person.

Owner *

The person or organisation who owns the land

Where the owner is different from the applicant, provide the details of that person or organisation.

Name:

Title:

First Name:

Surname:

Organisation (if applicable): MPAA Studio

Postal Address:

If it is a P.O. Box, enter the details here:

Unit No.:

St. No.:

St. Name: PO Box 207

Suburb/Locality: Warrnambool

State: VIC

Postcode: 3280

Contact information for applicant OR contact person below

Business phone: (03) 5562 9443

Email: info@mpaastudio.co

Mobile phone:

Fax:

Contact person's details*

Same as applicant ☐

Name:

Title:

First Name:

Surname:

Organisation (if applicable):

Postal Address:

If it is a P.O. Box, enter the details here:

Unit No.:

St. No.:

St. Name:

Suburb/Locality:

State:

Postcode:

Name:

Same as applicant ☐

Title:

First Name:

Surname:

Organisation (if applicable):

Postal Address:

If it is a P.O. Box, enter the details here:

Unit No.:

St. No.:

St. Name:

Suburb/Locality:

State:

Postcode:


Owner's Signature (Optional):

Date:


day / month / year

Declaration

This form must be signed by the applicant *

 Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit.

I declare that I am the applicant; and that all the information in this application is true and correct; and the owner (if not myself) has been notified of the permit application.

Signature: 

Date: 20/01/2025

day / month / year

Need help with the Application?

General information about the planning process is available at planning.vic.gov.au

Contact Council's planning department to discuss the specific requirements for this application and obtain a planning permit checklist. Insufficient or unclear information may delay your application.

Has there been a pre-application meeting with a council planning officer?

☒ No

☐ Yes

If 'Yes', with whom?:

Date:

day / month / year

Checklist

Have you:



Filled in the form completely?



Paid or included the application fee?



Most applications require a fee to be paid. Contact Council to determine the appropriate fee.



Provided all necessary supporting information and documents?



A full, current copy of title information for each individual parcel of land forming the subject site.



A plan of existing conditions.



Plans showing the layout and details of the proposal.



Any information required by the planning scheme, requested by council or outlined in a council planning permit checklist.



If required, a description of the likely effect of the proposal (for example, traffic, noise, environmental impacts).



Completed the relevant council planning permit checklist?



Signed the declaration above?

Lodgement

Lodge the completed and signed form, the fee and all documents with:

West Wimmera Shire Council
PO Box 201
Edenhope VIC 3318
49 Elizabeth Street
Edenhope VIC 3318

Contact information:

Phone: (03) 5585 9900

Email: council@westwimmera.vic.gov.au

Deliver application in person, by post or by electronic lodgement.

The Land

Planning permits relate to the use and development of the land. It is important that accurate, clear and concise details of the land are provided with the application.

How is land identified?


Land is commonly identified by a street address, but sometimes this alone does not provide an accurate identification of the relevant parcel of land relating to an application. Make sure you also provide the formal land description – the lot and plan number or the crown, section and parish/township details (as applicable) for the subject site. This information is shown on the title.

See **Example 1**.

The Proposal

Why is it important to describe the proposal correctly?


The application requires a description of what you want to do with the land. You must describe how the land will be used or developed as a result of the proposal. It is important that you understand the reasons why you need a permit in order to suitably describe the proposal. By providing an accurate description of the proposal, you will avoid unnecessary delays associated with amending the description at a later date.

 Planning schemes use specific definitions for different types of use and development. Contact the Council planning office at an early stage in preparing your application to ensure that you use the appropriate terminology and provide the required details.

How do planning schemes affect proposals?

A planning scheme sets out policies and requirements for the use, development and protection of land. There is a planning scheme for every municipality in Victoria. Development of land includes the construction of a building, carrying out works, subdividing land or buildings and displaying signs.

Proposals must comply with the planning scheme provisions in accordance with Clause 61.05 of the planning scheme. Provisions may relate to the State Planning Policy Framework, the Local Planning Policy Framework, zones, overlays, particular and general provisions. You can access the planning scheme by either contacting Council's planning department or by visiting the Planning Schemes Online section of the department's website <http://planning-schemes.delwp.vic.gov.au>

 You can obtain a planning certificate to establish planning scheme details about your property. A planning certificate identifies the zones and overlays that apply to the land, but it does not identify all of the provisions of the planning scheme that may be relevant to your application. Planning certificates for land in metropolitan areas and most rural areas can be obtained by visiting www.landata.vic.gov.au. Contact your local Council to obtain a planning certificate in Central Goldfields, Corangamite, Macedon Ranges and Greater Geelong. You can also use the free Planning Property Report to obtain the same information.

See **Example 2**.


Estimated cost of development

In most instances an application fee will be required. This fee must be paid when you lodge the application. The fee is set down by government regulations.

To help Council calculate the application fee, you must provide an accurate cost estimate of the proposed development. This cost does not include the costs of development that you could undertake without a permit or that are separate from the permit process. Development costs should be calculated at a normal industry rate for the type of construction you propose.

Council may ask you to justify your cost estimates. Costs are required solely to allow Council to calculate the permit application fee. Fees are exempt from GST.

 Costs for different types of development can be obtained from specialist publications such as Cordell Housing: Building Cost Guide or Rawlinsons: Australian Construction Handbook.

 Contact the Council to determine the appropriate fee. Go to planning.vic.gov.au to view a summary of fees in the Planning and Environment (Fees) Regulations.

Existing Conditions

How should land be described?

You need to describe, in general terms, the way the land is used now, including the activities, buildings, structures and works that exist (e.g. single dwelling, 24 dwellings in a three-storey building, medical centre with three practitioners and 8 car parking spaces, vacant building, vacant land, grazing land, bush block).

Please attach to your application a plan of the existing conditions of the land. Check with the local Council for the quantity, scale and level of detail required. It is also helpful to include photographs of the existing conditions.

See **Example 3**.

Title Information

What is an encumbrance?

An 'encumbrance' is a formal obligation on the land, with the most common type being a 'mortgage'. Other common examples of encumbrances include:

- **Restrictive Covenants:** A 'restrictive covenant' is a written agreement between owners of land restricting the use or development of the land for the benefit of others, (eg. a limit of one dwelling or limits on types of building materials to be used).
- **Section 173 Agreements:** A 'section 173 agreement' is a contract between an owner of the land and the Council which sets out limitations on the use or development of the land.
- **Easements:** An 'easement' gives rights to other parties to use the land or provide for services or access on, under or above the surface of the land.
- **Building Envelopes:** A 'building envelope' defines the development boundaries for the land.

Aside from mortgages, the above encumbrances can potentially limit or even prevent certain types of proposals.

What documents should I check to find encumbrances?

Encumbrances are identified on the title (register search statement) under the header 'encumbrances, caveats and notices'. The actual details of an encumbrance are usually provided in a separate document (instrument) associated with the title. Sometimes encumbrances are also marked on the title diagram or plan, such as easements or building envelopes.

What about caveats and notices?


A 'caveat' is a record of a claim from a party to an interest in the land. Caveats are not normally relevant to planning applications as they typically relate to a purchaser, mortgagee or chargee claim, but can sometimes include claims to a covenant or easement on the land. These types of caveats may affect your proposal.

Other less common types of obligations may also be specified on title in the form of 'notices'. These may have an effect on your proposal, such as a notice that the building on the land is listed on the Heritage Register.

What happens if the proposal contravenes an encumbrance on title?

Encumbrances may affect or limit your proposal or prevent it from proceeding. Section 61(4) of the *Planning and Environment Act 1987* for example, prevents a Council from granting a permit if it would result in a breach of a registered restrictive covenant. If the proposal contravenes any encumbrance, contact the Council for advice on how to proceed.

You may be able to modify your proposal to respond to the issue. If not, separate procedures exist to change or remove the various types of encumbrances from the title. The procedures are generally quite involved and if the encumbrance relates to more than the subject property, the process will include notice to the affected party.

 You should seek advice from an appropriately qualified person, such as a solicitor, if you need to interpret the effect of an encumbrance or if you seek to amend or remove an encumbrance.

Why is title information required?

Title information confirms the location and dimensions of the land specified in the planning application and any obligations affecting what can be done on or with the land.

As well as describing the land, a full copy of the title will include a diagram or plan of the land and will identify any encumbrances, caveats and notices.

What is a 'full' copy of the title?

The title information accompanying your application must include a 'register search statement' and the title diagram, which together make up the title.

In addition, any relevant associated title documents, known as 'instruments', must also be provided to make up a full copy of the title.

Check the title to see if any of the types of encumbrances, such as a restrictive covenant, section 173 agreement, easement or building envelope, are listed. If so, you must submit a copy of the document (instrument) describing that encumbrance. Mortgages do not need to be provided with planning applications.

⚠ Some titles have not yet been converted by Land Registry into an electronic register search statement format. In these earlier types of titles, the diagram and encumbrances are often detailed on the actual title, rather than in separate plans or instruments.

Why is 'current' title information required?

It is important that you attach a current copy of the title for each individual parcel of land forming the subject site. 'Current' title information accurately provides all relevant and up-to-date information.

Some Councils require that title information must have been searched within a specified time frame. Contact the Council for advice on their requirements.

⚠ Copies of title documents can be obtained from Land Registry: Level 10, 570 Bourke Street, Melbourne; 03 8636 2010; www.landata.vic.gov.au – go direct to "titles & property certificates".

Applicant and Owner Details

This section provides information about the permit applicant, the owner of the land and the person who should be contacted about any matters concerning the permit application.

The applicant is the person or organisation that wants the permit. The applicant can, but need not, be the contact person.

In order to avoid any confusion, the Council will communicate only with the person who is also responsible for providing further details. The contact may be a professional adviser (e.g. architect or planner) engaged to prepare or manage the application. To ensure prompt communications, contact details should be given.

Check with council how they prefer to communicate with you about the application. If an email address is provided this may be the preferred method of communication between Council and the applicant/contact.

The owner of the land is the person or organisation who owns the land at the time the application is made. Where a parcel of land has been sold and an application made prior to settlement, the owner's details should be identified as those of the vendor. The owner can, but need not, be the contact or the applicant.

See **Example 4**.

Declaration

The declaration should be signed by the person who takes responsibility for the accuracy of all the information that is provided. This declaration is a signed statement that the information included with the application is true and correct at the time of lodgement.

The declaration can be signed by the applicant or owner. If the owner is not the applicant, the owner must either sign the application form or must be notified of the application which is acknowledged in the declaration.

⚠ Obtaining or attempting to obtain a permit by wilfully making or causing any false representation or declaration, either orally or in writing, is an offence under the *Planning and Environment Act 1987* and could result in a fine and/or cancellation of the permit.

Need help with the Application?

If you have attended a pre-application meeting with a Council planner, fill in the name of the planner and the date, so that the person can be consulted about the application once it has been lodged.

Checklist

What additional information should you provide to support the proposal?

You should provide sufficient supporting material with the application to describe the proposal in enough detail for the Council to make a decision. It is important that copies of all plans and information submitted with the application are legible.

There may be specific application requirements set out in the planning scheme for the use or development you propose. The application should demonstrate how these have been addressed or met.

The checklist is to help ensure that you have:

- provided all the required information on the form
- included payment of the application fee
- attached all necessary supporting information and documents
- completed the relevant Council planning permit checklist
- signed the declaration on the last page of the application form

⚠ The more complete the information you provide with your permit application, the sooner Council will be able to make a decision.

Lodgement

The application must be lodged with the Council responsible for the planning scheme in which the land affected by the application is located. In some cases the Minister for Planning or another body is the responsible authority instead of Council. Ask the Council if in doubt.

Check with Council how they prefer to have the application lodged. For example, they may have an online lodgement system, prefer email or want an electronic and hard copy. Check also how many copies of plans and the size of plans that may be required.

Contact details are listed in the lodgement section on the last page of the form.

⚠ Approval from other authorities: In addition to obtaining a planning permit, approvals or exemptions may be required from other authorities or Council departments. Depending on the nature of your proposal, these may include food or health registrations, building permits or approvals from water and other service authorities.

EXAMPLES

Example 1

The Land

Address of the land. Complete the Street Address and one of the Formal Land Descriptions.

Street Address *

Unit No.: 4

St. No.: 26

St. Name: Planmore Avenue

Suburb/Locality: HAWTHORN

Postcode: 3122

Formal Land Description *
Complete either A or B.

This information can be found on the certificate of title.

If this application relates to more than one address, attach a separate sheet setting out any additional property details.

A

Lot No.: 2

☐ Lodged Plan

☐ Title Plan

☒ Plan of Subdivision

No.: LP93562

OR

B

Crown Allotment No.:

Section No.:

Parish/Township Name:

Example 2

For what use, development or other matter do you require a permit? *

Construction of two, double-storey dwellings and construction of two new crossovers.

Provide additional information about the proposal, including: plans and elevations; any information required by the planning scheme, requested by Council or outlined in a Council planning permit checklist; and if required, a description of the likely effect of the proposal.

Example 3

Existing Conditions

Describe how the land is used and developed now *

For example, vacant, three dwellings, medical centre with two practitioners, licensed restaurant with 80 seats, grazing.

Single dwelling.

Provide a plan of the existing conditions. Photos are also helpful.

Example 4

Applicant and Owner Details

Provide details of the applicant and the owner of the land.

Applicant *

The person who wants the permit.

Please provide at least one contact phone number *

Where the preferred contact person for the application is different from the applicant, provide the details of that person.

Owner *

The person or organisation who owns the land

Where the owner is different from the applicant, provide the details of that person or organisation.

Name:

Title: Mr

First Name: Len

Surname: Browning

Organisation (if applicable): Responsible Developers P/L

Postal Address:

Unit No.: 4

St. No.: 12

St. Name: Ardour Lane

Suburb/Locality: Wycheproof

State: Vic

Postcode: 3527

Contact information for applicant OR contact person below

Business phone: 9123 4567

Email: tcpl@bigpond.net.au

Mobile phone: 0412 345 678

Fax: 9123 4567

Contact person's details*

☐ Same as applicant

Name:

Title: Mr

First Name: Andrew

Surname: Hodge

Organisation (if applicable): Town Planning Consultants

Postal Address:

Unit No.:

St. No.:

St. Name: PO Box 111

Suburb/Locality: Parkdale

State: Vic

Postcode: 3194

☒ Same as applicant

Name:

Title:

First Name:

Surname:

Organisation (if applicable):

Postal Address:

Unit No.:

St. No.:

St. Name:

Suburb/Locality:

State:

Postcode:

Owner's Signature (Optional):

Date:

day / month / year

Application for a Planning Permit | Regional Council

Addendum

Clause 55 Assessment

Requirement	Response
Clause 55.01-1 Neighbourhood and site description The neighbourhood and site description may use a site plan, photographs or other techniques and must accurately include: <ul style="list-style-type: none">- A description of the neighbourhood- A description of the subject site	Complies Refer to Town Planning Report and submitted drawings.
Clause 55.01-2 Design response The design response must explain how the proposed design: <ul style="list-style-type: none">- Derives from and responds to the neighbourhood and site description.- Meets the objectives of Clause 55.- Responds to any neighbourhood character features for the area identified in a local planning policy or a Neighbourhood Character Overlay. The design response must include correctly proportioned street elevations or photographs showing the development in the context of adjacent buildings. If in the opinion of the responsible authority this requirement is not relevant to the evaluation of an application, it may waive or reduce the requirement.	Complies The proposed dwellings are located within the settlement of Edenhope, which has a township character reflective of its zoning. The surrounding dwellings comprise a mix of architectural designs and styles, which reflect the varied time and styles of development within Edenhope. The proposed dwellings are contemporary in design, which will integrate with the surrounding character of dwellings, whilst contributing to the mix of dwellings which create a vibrant neighbourhood.
Clause 55.02-1 Neighbourhood character (Standard B1) The design response must be appropriate to the neighbourhood and the site. The proposed design must respect the existing or preferred neighbourhood character and respond to the features of the site.	Complies The proposal will integrate with the single storey character of nearby dwellings, and provide a contemporary addition to the streetscape.

Requirement	Response
<p>Clause 55.02-2 Residential policy (Standard B2)</p> <p>An application must be accompanied by a written statement to the satisfaction of the responsible authority that describes how the development is consistent with any relevant policy for housing in the Municipal Planning Strategy and the Planning Policy Framework.</p>	<p>Complies</p> <p>Refer to Town Planning Report which provides for a response to the MPS and PPF.</p>
<p>Clause 55.02-3 Dwelling diversity (Standard B3)</p> <p>Developments of ten or more dwellings should provide a range of dwelling sizes and types, including dwellings with a different number of bedrooms, and at least one dwelling that contains a kitchen, bath or shower, and a toilet and wash basin at ground floor level.</p>	<p>N/A</p> <p>Proposal is only for two dwellings.</p>
<p>Clause 55.02-4 Infrastructure (Standard B4)</p> <p>Development should be connected to reticulated services, including reticulated sewerage, drainage, electricity and gas, if available. Development should not unreasonably exceed the capacity of utility services and infrastructure, including reticulated services and roads. In areas where utility services or infrastructure have little or no space capacity, developments should provide for the upgrading or mitigation of the impact on services or infrastructure.</p>	<p>Complies</p> <p>The dwellings are to be connected to infrastructure including reticulated sewer and water, power and telecommunication.</p>
<p>Clause 55.02-5 Integration with the street (Standard B5)</p> <p>Developments should provide adequate vehicle and pedestrian links that maintain or enhance local accessibility. Dwellings should be oriented to front existing and proposed streets. High fencing in front of dwellings should be avoided if practicable. Dwellings next to existing public open space should be laid out to complement the open space.</p>	<p>Complies</p> <p>The dwellings have been designed to integrate with the street. The southern dwelling is oriented to front Langford Street with the entry to the front.</p>

Requirement	Response
<p>Clause 55.03-1 Street setback (Standard B6)</p> <p>Walls of buildings should be set back from streets:</p> <ul style="list-style-type: none"> – At least the distance specified in a schedule to the zone, or – If no distance is specified in a schedule to the zone, the distance specified in Table B1. 	<p>Variation to standard, objective met</p> <p>The required setback is 9 metres. The proposed front setback is 6.8 metres.</p> <p>The variation to the standard supports efficient use of the site and maximisation of the north facing orientation for living rooms and areas of open space.</p> <p>The prevailing setbacks in the locality are varied, and in Langford Street, are generous, reflecting the varied uses and township character of the street. No adverse visual impact from the reduced setback is anticipated.</p> <p>The variation is considered appropriate in this instance and the objective is met.</p>
<p>Clause 55.03-2 Building height (Standard B7)</p> <p>The maximum building height should not exceed the maximum height specified in the zone, schedule to the zone or an overlay that applies to the land.</p> <p>If no maximum height is specified in the zone, schedule to the zone or an overlay, the maximum building height should not exceed 9 metres, unless the slope of the natural ground level at any cross section wider than 8 metres of the site of the building is 2.5 degrees or more, in which case the maximum building height should not exceed 10 metres.</p> <p>Changes of building height between existing buildings and new buildings should be graduated.</p>	<p>Complies</p> <p>The dwellings are single storey, and less than 9 metres.</p>
<p>Clause 55.03-3 Site coverage (Standard B8)</p> <p>The site area covered by buildings should not exceed:</p> <ul style="list-style-type: none"> – The maximum site coverage specified in a schedule to the zone, or – If no maximum site coverage is specified in a schedule to the zone, 60 percent. 	<p>Complies</p> <p>Site coverage is approximately 34%.</p>
<p>Clause 55.03-4 Permeability and Stormwater Management (Standard B9)</p> <p>The site area covered by pervious surfaces should be at least:</p>	<p>Complies</p> <p>Permeability of the site exceeds 20 per cent. The proposal is intended to be provided with rain water tanks to retain</p>

Requirement	Response
<ul style="list-style-type: none"> – The minimum area specified in a schedule to the zone; or – If no minimum area is specified in a schedule to the zone, 20 percent of the site. <p>The stormwater management system should be designed to:</p> <ul style="list-style-type: none"> – Meet the current best practice performance objectives for stormwater quality as contained the Urban Stormwater - Best Practice Environmental Management Guidelines (Victorian Stormwater Committee, 1999) – Contribute to cooling, improving local habitat and providing attractive and enjoyable spaces. 	<p>stormwater. It is considered stormwater can be managed via permit conditions, as appropriate.</p>
<p>Clause 55.03-5 Energy efficiency protection (Standard B10)</p> <p>Buildings should be:</p> <ul style="list-style-type: none"> – Oriented to make appropriate use of solar energy. – Sited and designed to ensure that the energy efficiency of existing dwellings on adjoining lots is not unreasonably reduced. – Living areas and private open space should be located on the north side of the dwelling, if practicable. – Dwellings should be designed so that solar access to north-facing windows is maximised. 	<p>Complies</p> <p>The dwellings have been orientated to maximise energy efficiency. Rooftop solar energy systems are proposed on the west facing roofs to reduce the reliance on fossil fuels. Living rooms and open space areas are located on the north side of the dwellings. No adverse impacts to adjoining solar systems have been identified.</p>
<p>Clause 55.03-6 Open space (Standard B11)</p> <p>If any public or communal open space is provided on site, it should:</p> <ul style="list-style-type: none"> – Be substantially fronted by dwellings, where appropriate. 	<p>N/A</p> <p>No public or communal open space is provided.</p>

Requirement	Response
<ul style="list-style-type: none"> – Provide outlook for as many dwellings as practicable. – Be designed to protect any natural features on the site. – Be accessible and useable. 	
Clause 55.03-7 Safety (Standard B12) Entrances to dwellings and residential buildings should not be obscured or isolated from the street and internal accessways. Planting which creates unsafe spaces along streets and accessways should be avoided. Developments should be designed to provide good lighting, visibility and surveillance of car parks and internal accessways. Private spaces within developments should be protected from inappropriate use as public thoroughfares.	Complies Frontages of both dwellings are easily visible, and provide a sense of safety through the use of the porch.
Clause 55.03-8 Landscaping (Standard B13) The landscape layout and design should: <ul style="list-style-type: none"> – Protect any predominant landscape features of the neighbourhood. – Take into account the soil type and drainage patterns of the site. – Allow for intended vegetation growth and structural protection of buildings. – In locations of habitat importance, maintain existing habitat and provide for new habitat for plants and animals. – Provide a safe, attractive and functional environment for residents. 	Complies Areas of landscaping have been identified to ensure the dwellings are well integrated into the neighbourhood, and enhance the amenity of the site. Should additional information in relation be required, this can managed via permit conditions, as appropriate.

Requirement	Response
Development should provide for the retention or planting of trees, where these are part of the character of the neighbourhood.	
Development should provide for the replacement of any significant trees that have been removed in the 12 months prior to the application being made.	
The landscape design should specify landscape themes, vegetation (location and species), paving and lighting.	
Development should meet any additional landscape requirements specified in a schedule to the zone.	
Clause 55.03-9 Access (Standard B14)	Variation to standard, objective met
The width of accessways or car spaces should not exceed:	Two crossovers are provided, with a total of approximately 8.3 metres width.
– 33 percent of the street frontage, or	
– if the width of the street frontage is less than 20 metres, 40 per cent of the street frontage.	The total lot frontage is approximately 20 metres. The accessways will comprise approximately 41% of the site frontage.
No more than one single-width crossover should be provided for each dwelling fronting a street.	A double width crossover to the southern dwelling has been provided to provide for efficient and easy use of the double garage.
The location of crossovers should maximise the retention of on-street car parking spaces.	
The number of access points to a road in a Road Zone should be minimised.	The proposed accessways are considered to strike a balance between minimise the width of accessways and providing useable vehicle access for the garages. No adverse impacts to the neighbourhood character are anticipated and the objective is considered to be met.
Developments must provide for access for service, emergency and delivery vehicles.	
Clause 55.03-10 Parking location (Standard B15)	Complies
Car parking facilities should:	Each dwelling provides for a double garage, integrated into the dwelling design. The accessway for the rear (northern) dwelling does not go by any habitable rooms of the southern dwelling, as habitable room windows to the west have been minimised for the southern dwelling.
– Be reasonably close and convenient to dwellings and residential buildings.	
– Be secure.	
– Be well ventilated if enclosed.	

Requirement	Response
Shared accessways or car parks of other dwellings and residential buildings should be located at least 1.5 metres from the windows of habitable rooms. This setback may be reduced to 1 metre where there is a fence at least 1.5 metres high or where window sills are at least 1.4 metres above the accessway.	
Clause 55.04-1 Side and rear setbacks (Standard B17) A new building not on or within 200mm of a boundary should be set back from side or rear boundaries: <ul style="list-style-type: none"> – At least the distance specified in a schedule to the zone, or – If no distance is specified in a schedule to the zone, 1 metre, plus 0.3 metres for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres. <p>Sunblinds, verandahs, porches, eaves, fascias, gutters, masonry chimneys, flues, pipes, domestic fuel or water tanks, and heating or cooling equipment or other services may encroach not more than 0.5 metres into the setbacks of this standard.</p> <p>Landings having an area of not more than 2 square metres and less than 1 metre high, stairways, ramps, pergolas, shade sails and carports may encroach into the setbacks of this standard.</p>	Complies Side setbacks are compliant with the standard.
Clause 55.04-2 Walls on boundaries (Standard B18) A new wall constructed on or within 200mm of a side or rear boundary of a lot or a carport constructed on or within 1 metre of a side or rear boundary of a lot should not abut the boundary: <ul style="list-style-type: none"> – For a length more than the distance specified in a schedule to the zone; or 	N/A No walls on boundaries proposed.

Requirement	Response
<ul style="list-style-type: none"> – If no distance is specified in a schedule to the zone, for a length of more than: – 10 metres plus 25 percent of the remaining length of the boundary of an adjoining lot, or – Where there are existing or simultaneously constructed walls or carports abutting the boundary on an abutting lot, the length of the existing or simultaneously constructed walls or carports, whichever is the greater. 	
Clause 55.04-3 Daylight to existing windows (Standard B19) Buildings opposite an existing habitable room window should provide for a light court to the existing window that has a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky. The calculation of the area may include land on the abutting lot. Walls or carports more than 3 metres in height opposite an existing habitable room window should be set back from the window at least 50 per cent of the height of the new wall if the wall is within a 55 degree arc from the centre of the existing window. The arc may be swung to within 35 degrees of the plane of the wall containing the existing window. Where the existing window is above ground floor level, the wall height is measured from the floor level of the room containing the window.	N/A There are no existing windows.
Clause 55.04-4 North-facing windows (Standard B20) If a north-facing habitable room window of an existing dwelling is within 3 metres of a boundary on an abutting lot, a building should be setback from	N/A No existing north facing windows.

Requirement	Response
the boundary 1 metre, plus 0.6 metre for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres, for a distance of 3 metres from the edge of each side of the window. A north-facing window is a window with an axis perpendicular to its surface oriented north 20 degrees west to north 30 degrees east.	
Clause 55.04-5 Overshadowing open space (Standard B21) Where sunlight to the secluded private open space of an existing dwelling is reduced, at least 75 percent, or 40 square metres with minimum dimension of 3 metres, whichever is the lesser area, of the secluded private open space should receive a minimum of five hours of sunlight between 9am and 3pm on 22 September.	Complies No adverse impacts to adjoining open space have identified.
Clause 55.04-6 Overlooking (Standard B22) A habitable room window, balcony, terrace, deck or patio should be located and designed to avoid direct views into the secluded private open space and habitable room windows of an existing dwelling within a horizontal distance of 9 metres (measured at ground level) of the window, balcony, terrace, deck or patio. Views should be measured within a 45 degree angle from the plane of the window or perimeter of the balcony, terrace, deck or patio, and from a height of 1.7 metres above floor level.	Complies Fencing is to be used to limit overlooking between the proposed dwellings. This is to comprise 1.8m high Colorbond fencing.
Clause 55.04-7 Internal views (Standard B23) Windows and balconies should be designed to prevent overlooking of more than 50 per cent of the secluded private open space of a lower-level dwelling or residential building directly below and within the same development.	N/A No lower level dwellings proposed.

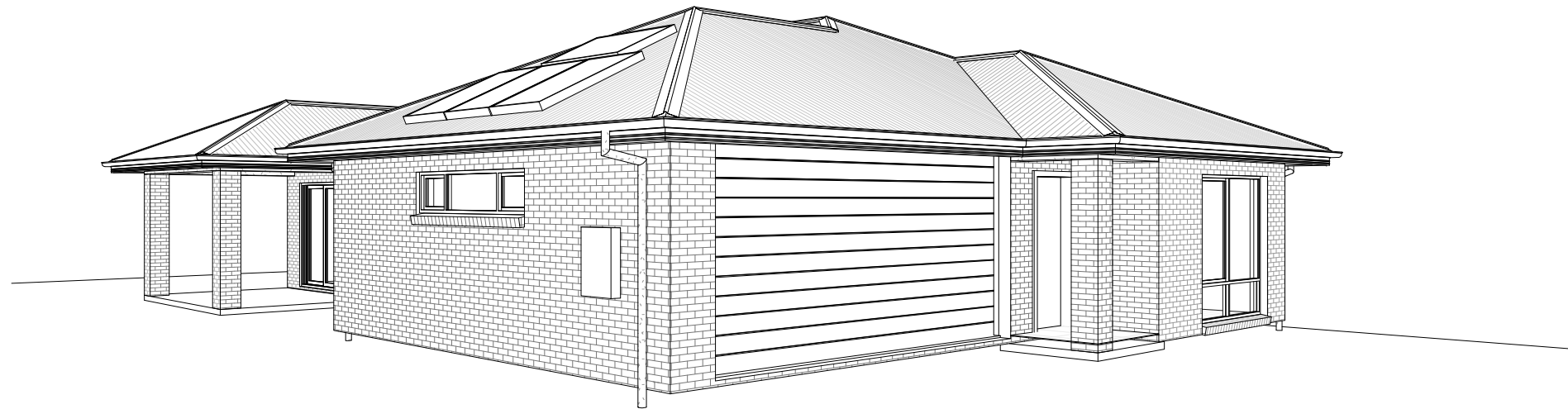
Requirement	Response
<p>Clause 55.04-8 Noise impacts (Standard B24)</p> <p>Noise sources, such as mechanical plant, should not be located near bedrooms of immediately adjacent existing dwellings.</p> <p>Noise sensitive rooms and secluded private open spaces of new dwellings and residential buildings should take account of noise sources on immediately adjacent properties.</p> <p>Dwellings and residential buildings close to busy roads, railway lines or industry should be designed to limit noise levels in habitable rooms.</p>	<p>Complies</p> <p>Each dwelling is provided with sufficient area to locate mechanical plant away from bedrooms.</p>
<p>Clause 55.05-1 Accessibility (Standard B25)</p> <p>The dwelling entries of the ground floor of dwellings and residential buildings should be accessible or able to be easily made accessible to people with limited mobility.</p>	<p>Complies</p> <p>Dwellings are accessible and single storey. Standard B25 is met. Dwellings will need to comply with new NCC requirements for accessibility.</p>
<p>Clause 55.05-2 Dwelling entry (Standard B26)</p> <p>Entries to dwellings and residential buildings should:</p> <ul style="list-style-type: none"> – Be visible and easily identifiable from streets and other public areas. – Provide shelter, a sense of personal address and a transitional space around the entry. 	<p>Complies</p> <p>Dwelling entry is conveniently located at the front of each dwelling. They are visible, safe, and provide shelter via a porch.</p>
<p>Clause 55.05-3 Daylight to new windows (Standard B27)</p> <p>A window in a habitable room should be located to face:</p> <ul style="list-style-type: none"> – An outdoor space clear to the sky or a light court with a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky, not including land on an abutting lot, or – A verandah provided it is open for at least one third of its perimeter, or 	<p>Complies</p> <p>All new windows are provided with appropriate light courts.</p>

Requirement	Response
<ul style="list-style-type: none"> – A carport provided it has two or more open sides and is open for at least one third of its perimeter. 	

<p>Clause 55.05-4 Private open space (Standard B28)</p> <p>A dwelling or residential building should have private open space of an area and dimensions specified in a schedule to the zone.</p> <p>If no area or dimensions are specified in a schedule to the zone, a dwelling or residential building should have private open space consisting of:</p> <ul style="list-style-type: none"> – An area of 40 square metres, with one part of the private open space to consist of secluded private open space at the side or rear of the dwelling or residential building with a minimum area of 25 square metres, a minimum dimension of 3 metres and convenient access from a living room, or – A balcony of 8 square metres with a minimum width of 1.6 metres and convenient access from a living room, or – A roof-top area of 10 square metres with a minimum width of 2 metres and convenient access from a living room. 	<p>Complies</p> <p>Each dwelling affords the provision of more than 40 square metres of rear yard which is secluded, as well as an undercover alfresco area, to enhance the usability of these outdoor spaces.</p>
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Requirement	Response
<p>Clause 55.05-5 Solar access to open space (Standard B29) The private open space should be located on the north side of the dwelling, if practicable. The southern boundary of secluded private open space should be set back from any wall on the north of the space at least $(2 + 0.9h)$ metres, where 'h' is the height of the wall.</p>	<p>Complies</p> <p>Private open space areas are located on the north side of the dwellings and meet the solar access to open space standard and objective.</p>
<p>Clause 55.05-6 Storage (Standard B30) Each dwelling should have convenient access to at least 6 cubic metres of externally accessible, secure storage space.</p>	<p>Complies</p> <p>Storage areas are provided within the garages.</p>
<p>Clause 55.06-1 Design detail (Standard B31) The design of buildings, including:</p> <ul style="list-style-type: none"> – facade articulation and detailing, – window and door proportions, – roof form, and – verandahs, eaves and parapets, <p>should respect the existing or preferred neighbourhood character. Garages and carports should be visually compatible with the development and the existing or preferred neighbourhood character.</p>	<p>Complies</p> <p>The design of the dwellings are conventional, comprising hipped roof forms with eaves and the use of a brick façade. A sense of address is provided to the street by the front door, entry porch and glazing to the main bedroom. This will ensure that the presentation to the street is acceptable and integrates with the surrounding neighbourhood.</p>
<p>Clause 55.06-2 Front fences (Standard B32) The design of front fences should complement the design of the dwelling and any front fences on adjoining properties. A front fence within 3 metres of a street should not exceed:</p> <ul style="list-style-type: none"> – The maximum height specified in a schedule to the zone, or – If no maximum height is specified in a schedule to the zone, the maximum height specified in Table B3. 	<p>N/A</p> <p>No front fencing is proposed.</p>

Requirement	Response
Clause 55.06-3 Common property (Standard B33) Developments should clearly delineate public, communal and private areas. Common property, where provided, should be functional and capable of efficient management.	N/A
Clause 55.06-4 Site services (Standard B34) The design and layout of dwellings and residential buildings should provide sufficient space (including easements where required) and facilities for services to be installed and maintained efficiently and economically. Bin and recycling enclosures, mailboxes and other site facilities should be adequate in size, durable, waterproof and blend in with the development. Bin and recycling enclosures should be located for convenient access by residents. Mailboxes should be provided and located for convenient access as required by Australia Post.	Complies Adequate space is provided for mailboxes for each dwelling. Bins can be stored within the garage or to the rear of the dwellings, where they would be well screened.



FINAL FOR TOWN PLANNING

DO NOT SCALE DRAWINGS

BUILDER TO VERIFY ALL WORK
INCLUDING DIMENSIONS AND LEVELS
BEFORE BUILDING COMMENCES

VIC REG NO
DP-AD 59100

ILLUSTRATION
ONLY

WEST WIMMERA 3BR HOME
LOT 1 LANGFORD ST EDENHOPE

 **ALEXSTAR**
BUILDING DESIGN

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DRAWINGS

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COMMENCES

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REVISIONS

REV C
15/1/25

WEST WIMMERA

3BR HOME

LOT 1 LANGFORD ST
EDENHOPE

PROJECT NUMBER
24-49

DATE
31/12/24

SCALE
1 : 200 (A3)

DRAWING
SITE PLAN

ISSUE:
DESIGN

NO
WD01

VIC REG
DP-AD 59100

SITE COVER		
NAME	AREA	COVER
PORCH	1.9	0%
GARAGE	43.2	10%
LIVING	114.4	26%
ALFRESCO	11.3	3%
SOFT LANDSCAPE	170.7	39%
DRIVEWAY	223.6	51%
	46.3	11%
	270.0	61%
	440.7	100%



VISUAL SCALE 1:200 @ A3

DO NOT SCALE DRAWINGS
WRITTEN DIMENSIONS TO TAKE PRECEDENCE

LANDSCAPING NOTES

ALL LANDSCAPING SHOWN IS INDICATIVE AND SUBJECT TO CHANGE ON SITE WHEN MORE DETAIL IS AVAILABLE

BUILDING WORKS CONTRACT ONLY TO THE EXTERIOR OF THE BUILDING LINE, UNLESS SPECIFICALLY NOTED IN THE CONTRACT

ALL LANDSCAPING, FENCING AND RETAINING IS BY OWNER AFTER HAND OVER, UNLESS SPECIFICALLY NOTED IN THE CONTRACT

STORM WATER AND RAIN WATER TANK - BY OWNER - DOWNPIPES TO GROUND LEVEL BY BUILDER

SWIMMING POOL AND FENCING - BY OWNER

ANY LANDSCAPING IN TURN KEY PROJECTS TO BE SPECIFICALLY NOTED IN CONTRACT OR VARIATION

RAIN WATER TANK

SITE LESS THAN 400M2

PROVIDE 2000L RETENTION TANK
PLUS 1000 DETENTION WHERE PERMEABLE SITE IS LESS THAN 30%

SITE GREATER THAN 400M2

PROVIDE 5000L TANK (4000 RETENTION AND 1000L DETENTION)

DETENTION TO BE PROVIDED TROUGH 25MM MAX DIAMETER SLOW RELEASE ORIFICE

WHERE GREATER THAN 35% OF THE SITE IS PERVIOUS TO WATER, TANK TO BE FULLY RETENTION

- LANDSCAPING - BY OWNER
- GRASS - BY OWNER
- PAVING - BY OWNER

SITE NOTES

SITE WORKS, LEVELS AND STORM WATER DRAINAGE AS NOTED, WHERE ENGINEERS REPORT AVAILABLE, ENGINEERS DETAILS TAKE PRECEDENCE
BUILDER TO CONFIRM TBM AND FINISHED FLOOR LEVELS PRIOR TO COMMENCING

THE PROPERTY BOUNDARY IS TO BE PEGGED BY A LICENSED SURVEYOR PRIOR TO COMMENCING. IF ANY DISCREPANCIES OCCUR FROM THE TITLE DETAILS, NOTIFY THIS OFFICE. SURVEYORS DETAILS TAKE PRECEDENCE

ALL TRADES TO ENSURE THAT THEY HAVE THE CURRENT DIAL BEFORE YOU DIG INFORMATON PRIOR TO COMMENCING SITE WORKS

1000L RAIN WATER TANK TO BE CONNECTED TO NEAREST WC OR LAUNDRY COLD WATER
BUILDER TO PROVIDE LOOP FOR OWNER TO CONNECT - TANK AND STORM WATER - BY OWNER
WHERE RETICULATED 'PURPLE' WATER IS AVAILABLE RAIN WATER TANK NOT REQUIRED
ALL LANDSCAPING AND EXTERNAL WORKS INDICATIVE AND TO BE DONE BY OWNER AFTER HAND OVER
ALL FENCING - BY OWNER
BUILDER TO PROVIDE DOWNPIPES TO REBATE LEVEL - STORMWATER BY OWNER

PLANTING SCHEDULE

ALLOTMENT SIZE 450-800M2 1 MEDIUM TREE OR 2 SMALL TREES
ALLOTMENT SIZE GREATER THAN 800M2 1 LARGE TREE OR 2 MEDIUM TREES OR 4 SMALL TREES

SMALL TREE - 4M HIGH 2M SPREAD - 10M2 SOIL MIN 1.5M DIMENSION
MEDIUM TREE - 6MHEIGHT 4M SPREAD - 30M2 SOIL, 2M MIN DIMENSION
LARGE TREE - 12M HEIGHT 8M SPREAD - 60M2 SOIL AND 4M MIN DIMENSION

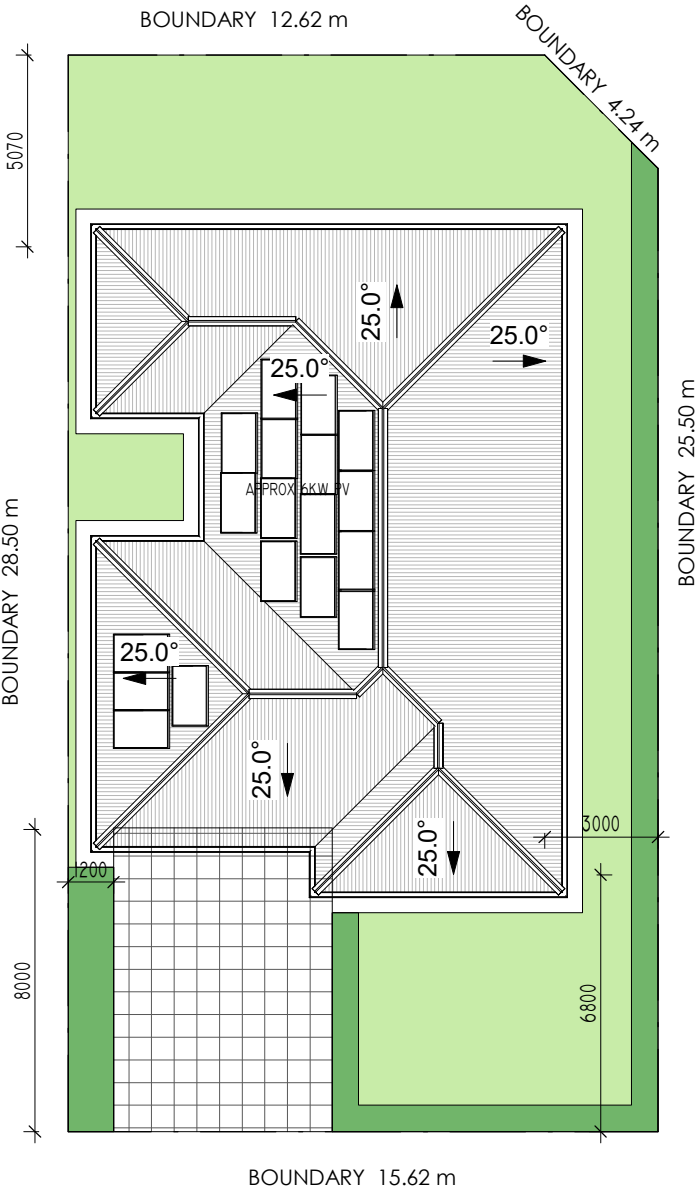
SMALL TREES	MEDIUM TREES	LARGE TREES
MAGNOLIA TEDDY BEAR JAPANESE MAPLE LILLY PILLY PITTOSPORUM	SILVER BIRCH CERCIS FOREST PANSY MAGNOLIA TEDDY BEAR LILLY PILLY	SILVER BIRCH GINKO BILOBA MAGNOLIA GRANDIFLORA

TBM & FFL SUBJECT TO ENGINEERS SITE AND DRAINAGE PLAN

SITE CONDITIONS	
CORROSION ZONE	NA
DESIGN WIND SPEED	N3
BUSHFIRE ZONE (BAL)	12.5
ENCUMBRANCE	NO

CORROSION SEVERE = LESS THAN 1KM FROM BREAKING SURF, OR 100M FROM NON-BREAKING SURF

CORROSION MODERATE = GREATER THAN 1KM FROM BREAKING SURF OR 100M FROM NON-BREAKING SURF



LANGFORD ST

0. SITE

SCALE: 1 : 200

FINAL FOR TOWN PLANNING

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COMMENCES

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REVISIONS

REV C
15/1/25

WEST WIMMERA

3BR HOME

LOT 1 LANGFORD ST EDENHOPE

PROJECT NUMBER
24-49

DATE
31/12/24

SCALE
1 : 100 (A3)

DRAWING
GROUND FLOOR PLAN

ISSUE:
DESIGN

NO
WD02

VIC REG
DP-AD 59100

FLOOR PLAN NOTES

ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH THE NCC AND RELEVANT AUSTRALIAN STANDARDS AT THE DATE OF DEVELOPMENT APPLICATION - WHERE AN AUSTRALIAN STANDARD IS REFERENCED THE VERSION THAT IS CURRENTLY CALLED UP IN THE NCC AT THE TIME OF BUILDING CONSENT MUST BE USED

ALL BRICK PIERS TO BE REINFORCED WITH 1/IN16 ROD CENTRALLY AND CONCRETE FILLED, OR TO ENGINEERS DETAILS WHERE PROVIDED, ALL CONTROL JOINTS BY ENGINEER

WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. IF DIMENSIONS ARE UNCLEAR, CONTACT THIS OFFICE FOR CLARIFICATION.

ALL TRADES TO CHECK ALL INFORMATION PRIOR TO COMMENCING OR ORDERING MATERIALS. TRADES ARE RESPONSIBLE FOR THE BUILDABILITY OF THEIR AREA OF EXPERTISE AND TO PROVIDE ALL PRODUCTS NECESSARY FOR THE FINAL FINISHED CONSTRUCTION.

DIMENSIONS WITH ARROW HEADS GENERALLY FINISHES DIMENSIONS, DIMENSIONS WITH DIAGONAL TICK MARK TO STRUCTURAL MATERIALS WHERE UNCLEAR - CONTACT THIS OFFICE

THE DESIGNER DOES NOT TAKE THE RESPONSIBILITY OF THE BUILDER. IT IS THE RESPONSIBILITY OF THE BUILDER TO ENSURE ALL INFORMATION IS CORRECT PRIOR TO CONSTRUCTION AND ENGAGEMENT OF SUPPLIERS. THE BUILDER IS TO ENSURE THAT ALL ASPECTS OF THE BUILDING ARE BUILDABLE AND TO PROVIDE ALL NECESSARY FITTINGS, FIXTURES AND MATERIALS TO ENSURE THAT THE BUILDING IS COMPLETE.

WHERE PRODUCTS ARE TO BE INSTALLED TO MANUFACTURERS SPECIFICATION, IT IS THE BUILDERS RESPONSIBILITY TO ENSURE THOSE DETAILS ARE FOLLOWED. WHERE AN AUSTRALIAN STANDARD OR REQUIREMENT OF THE APPROPRIATE LEGISLATION IS TO BE FOLLOWED, IT IS THE BUILDERS RESPONSIBILITY TO ENSURE THE CORRECT INSTALLATION AND PROCEDURES ARE FOLLOWED.

DOWNPIPES TO BE PROVIDED AT MAXIMUM 12M SPACING AND ADJACENT TO VALLEY GUTTERS. ALL BOX GUTTERS TO HAVE MINIMUM 90MM DOWNPIPES
ALL BOX GUTTERS TO HAVE OVERFLOW DEVICES
ALL FASCIA GUTTERS TO PROVIDE OVERFLOWS AS PER THE DETAILS ON THE GUTTERS AND OVERFLOWS NOTES. WHERE POSSIBLE USE STRATCO DIMPLED STEEL FASCIA BEHIND GUTTERS

BUILDER TO CHECK ALL WINDOW AND DOOR SIZES ALL HEADS TO ALLIGN (EXCEPT WHERE SPECIFICALLY SHOWN AS BENCH HEIGHT WINDOWS OR HIGH/LOW LEVEL WINDOWS) CHECK WINDOW/DOOR SCHEDULE - ADJUSTMENTS PERMITTED TO MATCH BRICK COURSING AS NECESSARY

ENCLOSED WC AREAS TO BE PROVIDED WITH ESCAPE HINGES TO THE DOOR, OR THE DOOR SHALL SLIDE OR SWING OUT OF THE ENCLOSURE

ENERGY NOTES

WHERE AN ENERGY REPORT IS PROVIDED - ENERGY REPORT TAKES PRECEDENCE

BUILDING FABRIC

R2.5 INSULATION TO EXTERNAL WALL CAVITIES
R4.0 INSULATION TO CEILING CAVITIES
R2.0 INSULATION TO INTERNAL WALLS
R1.0 INSULATION TO PERIMETER OF FLOOR SLAB IF IN SLAB
HEATING/COOLING IS INSTALLED
EXTERNAL GLAZING TO COMPLY WITH THE GLAZING CALCULATOR AS PROVIDED BY ABCB

PV SYSTEM BY OWNER

SERVICES

PROVIDE LOOP FOR CONNECTION OF RAIN WATER TO WC
LIGHT FITTINGS TO BE ENERGY EFFICIENT,
MAX 5W/M2 TO LIVING AREAS - SEE ELECTRICAL LAYOUTS FOR CALCULATIONS
TAPS AND SANITARY FIXTURES WELS 4 STAR OR BETTER
SHOWER ROSES 3 STAR OR BETTER

WHOLE OF HOUSE ASSESSMENT INFORMATION
DUCTED REVERSE CYCLE AC SYSTEM - MIN 5 STAR RATING
USE HIGH EFFICIENCY GAS HOT WATER SERVICE - MIN 5 STAR RATING
GAS COOK TOP - MIN 5 STAR RATING
GAS OVEN - MIN 5 STAR RATING
ALL ROOFS TO BE DESIGNED FOR PV SYSTEM
OWNER TO INSTALL MIN 3KW PV SYSTEM AFTER HAND OVER
BATTERY STORAGE - BY OWNER
LIGHTING - TYPICAL 13W LED DOWNLIGHT 2.2W/M2 (2 PER 12M FLOOR AREA)

* THIS HOUSE HAS BEEN DESIGNED FOR STANDARD LOADS
IE. NO A/C - TANKS ON ROOF, NO SOLAR PANLES, NO WATER BEDS ON LIGHTWEIGHT FLOORING, ETC.

SMOKE

ALARM

INTERLINKED HARD WIRED SMOKE ALARMS
MAX 3.5M FROM A BEDROOM DOOR

DUCTED EXHAUST FAN

FINAL FOR TOWN PLANNING

* BUILDING SHALL BE PROTECTED AGAINST TERMITE ATTACK IN ACCORDANCE WITH AS3660.1-2014 AND PROVIDED WITH A DURABLE NOTICE IN ACCORDANCE WITH PART 3.4.3 OF ABCB HOUSING PROVISIONS 2022.

* WHERE A PERIMETER TERMITE BARRIER IS INSTALLED THE HEIGHT OF THE FINISHED CONCRETE LEVEL OF THE SLAB MUST NOT BE LESS THAN 35MM ABOVE THE FFL.

* WHERE A PERIMETER TERMITE BARRIER IS NOT INSTALLED THE HEIGHT OF THE SLAB EDGE REBATE MUST NOT BE LESS THAN 75MM ABOVE THE FINISHED PAVED AREA.

* SARKING TO EXTERNAL HEBEL WALLS SHALL BE INSTALLED IN ACCORDANCE WITH AS/NZS 4200.1 & 2

* ROOF SARKING TO HAVE A FLAMMABILITY INDEX NOT GREATER THAN 5

* GLAZING SHALL BE SELECTED AND INSTALLED IN ACCORDANCE WITH AS1288 - 2021 AND AS2047 FOR EXTERNAL GLAZING

* SMOKE DETECTORS SHALL COMPLY WITH AS3786-2014, BE CONNECTED TO CONSUMER MAINS POWER AND BE INTERCONNECTED WHERE THERE IS MORE THAN ONE.

* WATERPROOFING TO WET AREAS WILL BE IN ACCORDANCE WITH AS3740-2021 & 10.2.12 OF HOUSING PROVISIONS 2022

* THE FLOOR OF A WET AREA CONTAINING A VESSEL MUST BE GRADED TO THE FLOOR WASTE UNLESS ALL VESSELS ARE PROVIDED WITH IN-BUILT OVERFLOW PROTECTION, OR HAVE PERMANENT OPEN TRAPPED CONNECTION TO THE PLUMBING IN ACCORDANCE WITH HOUSING PROVISION SA 10.2.33

* WC DOORS SHALL BE PROVIDED WITH LIFT-OFF REMOVABLE HINGES

* ALL WC SHALL BE PROVIDED WITH A MECHANICAL EXHUAUST FAN

* MECHANICAL EXHAUST FANS SHALL ACHIEVE FLOW RATES OF 25L/S IN BATHROOM OR WC; AND 40L/S IN A KITCHEN AND LAUNDRY

* EXHAUST FANS SHALL DISCHARGE DIRECTLY VIA SHAFT OR DUCT TO OUTDOOR AIR, OR TO VENTILATED ROOF SPACE IN ACCORDANCE TO PART 10.8.2

* EAVE GUTTERS SHALL BE PROVIDED WITH CONTINUOUS OVERFLOW PROVISIONS IN ACCORDANCE WITH BCA-TABLE 7.4.4A (HOUSING PROVISIONS 2022)

* GLASS BALUSTRADE TO BALCONY SHALL HAVE A HANDRAIL ALONG THE TOP EDGE OF THE GLAZED PANELS IN ACCORDANCE WITH AS1288-2021

* PARAPETS SHALL BE PROVIDED WITH A METAL CAPPING EXTENDING DOWN 50MM EACH SIDE AND PROVIDED WITH SARKING IN ACCORDANCE WITH PART 7.5.8 OF THE ABCB HOUSING PROVISIONS 2022.

* THE BUILDING WORK IS TO BE CARRIED OUT IN STRICT ACCORDANCE WITH THE ENGINEERS FOOTING CONSTRUCTION REPORT INCLUDING CONDITIONS AND MANDATORY INSPECTION REQUIREMENTS.

* SUB-FLOOR VENTILATION MUST BE MAINTAINED AT ALL TIMES. THE MINIMUM REQUIREMENTS ARE 6,000MM² PER METRE OF WALL OR 3,000MM² IF THE GROUND UNDER THE DWELLING IS SEALED WITH A MEMBRANE. THERE MUST BE ATLEAST 400MM CLEARANCE FROM GROUND TO THE BOTTOM OF THE BEARER.

* CORROSION PROTECTION REQUIRED WHERE SITE IS WITHIN 1KM OF A NON SURF COAST OR 10KM OF A SURF COAST. MASONRY VENEER TO BE CONSTRUCTED USING STAINLESS STEEL WALL TIES & HOT DIP GALV LINTELS.

* STRUCTURAL STEEL IS TO BE PROVIDED WITH A PROTECTIVE COATING IN ACCORDANCE WITH TABLE 6.3.9a, 6.3.9b & 6.3.9c OF THE ABCB HOUSING PROVISIONS.

* METAL ROOF SHEETING IS TO BE PROVIDED WITH A METAL COATING IN ACCORDANCE WITH 7.2.2a OF THE ABCB HOUSING PROVISIONS.

* WHERE SITE IS WITHIN 100M OF A NON-SURF COAST OR 1KM OF A SURF COAST, AS3700 TABLE 5.1 & APP F REQUIRES M4 (1:0.5:4.5) MORTAR, GRADE 316L STAINLESS STEEL TIES OR ENGINEERED POLYMER TO AS/NZS 2699.1 AND LINTELS TO DURABILITY CLASS R4.

* STAIRS TO BE PROPRIETARY ACCREDITED SYSTEM, STAIRLOCK OR SIMILAR CONSTRUCTED IN STRICT ACCORDANCE WITH PART 11.2 OF THE ABCB HOUSING PROVISIONS. RISER & GOING DIMENSIONS AND SLOPE RELATIONSHIP AS PER TABLE 11.2.2A

* TREADS ARE TO BE PROVIDED WITH A NOSING STROP WITH A SLIP-RESISTANCE CLASSIFICATION NOT LESS THAN THAT LISTED IN TABLE 11.2.4 WHEN TESTED IN ACCORDANCE WITH AS 4586.

* RISERS TO BE OPAQUE OR HAVE MAXIMUM RISER OPENINGS OF 125MM.

* BALUSTRADE FRAMING AND ASSOCIATED CONNECTIONS TO BE DESIGNED IN ACCORDANCE WITH THE LOADING REQUIREMENTS OF AS 1170.1.

GROUND FLOOR

SCALE: 1 : 100

NOTE - RANGE HOOD CLEARANCES

GAS COOKTOP CLEARANCE FROM TRIVET TO CABINETS, MINIMUM 650MM
GAS COOKTOP TO RANGE HOOD MIN 750MM
BBQ TO RANGE HOOD 1200MM



KEYNOTES

CODE DESCRIPTION

FINISHES SCHEDULE

COLORBOND ROOF -
COLORBOND FASCIAS AND GUTTERS -
PANEL LIFT DOOR - MADISON PROFILE -
ENTRANCE DOOR - FEATURE TIMBER -
WINDOWS - ALUMINIUM -
FACE BRICK -
RENDER -
FEATURE CLADDING -

DO NOT SCALE
DRAWINGS

BUILDER TO VERIFY ALL WORK
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COMMENCES

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NORTH ELEVATION

SCALE: 1 : 100



WEST ELEVATION

SCALE: 1 : 100



SOUTH ELEVATION

SCALE: 1 : 100



EAST ELEVATION

SCALE: 1 : 100

REVISIONS

REV C
15/1/25

WEST WIMMERA

3BR HOME

LOT 1 LANGFORD ST
EDENHOPE

PROJECT NUMBER
24-49

DATE
31/12/24

SCALE
1 : 100 (A3)

DRAWING
ELEVATIONS

ISSUE:
DESIGN

NO
WD04

VIC REG
DP-AD 59100

FINAL FOR TOWN PLANNING

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REVISIONS

REV C
15/1/25

WEST WIMMERA

3BR HOME

LOT 1 LANGFORD ST
EDENHOPE

PROJECT NUMBER
24-49

DATE
31/12/24

SCALE
1 : 200 (A3)

DRAWING
AREAS

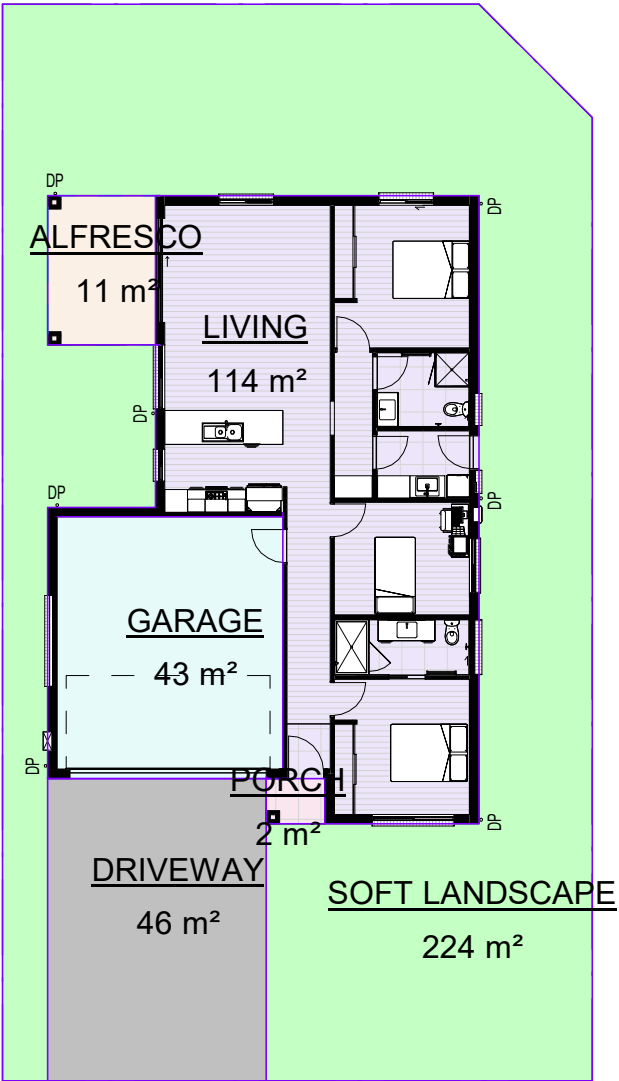
ISSUE:
DESIGN

NO
WD15

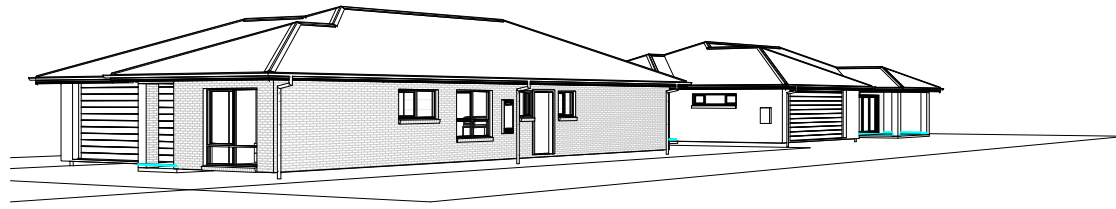
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SITE COVER		
NAME	AREA	COVER
PORCH	11.9	0%
GARAGE	43.2	10%
LIVING	114.4	26%
ALFRESCO	11.3	3%
	170.7	39%
SOFT LANDSCAPE	223.6	51%
DRIVEWAY	46.3	11%
	270.0	61%
	440.7	100%

ROOM SCHEDULE								
LEVEL	NAME	AREA	PERIMETER	FLOOR FINISH	CLASS	FLOOR HEATING	CEILING FINISH	BASE FINISH
GROUND FLOOR	ALFRESCO	11 M ²	13.6 M	CONCRETE				
GROUND FLOOR	BED 2	14 M ²	14.7 M	TIMBER				
GROUND FLOOR	BATH	5 M ²	8.8 M	TILES				
GROUND FLOOR	HALL	4 M ²	9.8 M	TIMBER				
GROUND FLOOR	BED 3	11 M ²	13.1 M	TIMBER				
GROUND FLOOR	LIVING	114 M ²	15.1 M	TIMBER				
GROUND FLOOR	KITCHEN	8 M ²	13.0 M	TIMBER				
GROUND FLOOR	LAUNDRY	4 M ²	8.4 M	TILES				
GROUND FLOOR	ENTRY	11 M ²	21.5 M	TIMBER				
GROUND FLOOR	GARAGE	40 M ²	25.3 M	CONCRETE				
GROUND FLOOR	ENS	5 M ²	10.0 M	TILES				
GROUND FLOOR	BED 1	13 M ²	14.3 M	TIMBER				
GROUND FLOOR	PORCH	2 M ²	5.5 M	TILES				
GROUND FLOOR	DINING	10 M ²	13.3 M	TIMBER				
		151 M ²	186.4 M					
		151 M ²	186.4 M					



GROUND FLOOR
SCALE: 1 : 200



FINAL FOR TOWN PLANNING

DO NOT SCALE DRAWINGS

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ILLUSTRATION
ONLY

WEST WIMMERA SHIRE 2 X 3 BED HOUSES
LOT 1 & 2 LANGFORD ST EDENHOPE

 **ALEXSTAR**
BUILDING DESIGN

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mob 0400 251 245

LOT 1 & 2 LANGFORD ST EDENHOPE

FINISHES SCHEDULE PREFIXES

B	BALUSTRADE
BEN	BENCHTOP
CAB	CABINETRY
CF	CEILING FINISH
EL	ELECTRICAL
FF	FLOOR FINISH
FR	FRAMING
GF	GENERAL FINISH
GN	GENERAL NOTE
H	HEATING
J	JOINERY
P	POOL
PL	PLUMBING
RF	ROOFING
SF	SOFT FURNISHINGS
SITE	SITEWORKS
SL	SOFFIT LINING
SS	STRUCTURE
SV	SERVICES
WDF	WINDOW FRAMING
WF	WALL FINISH
WP	WALL PLINTH/BANDING

REVISION SCHEDULE

NUMBER	DATE	DESCRIPTION
A	5/1/25	FOR INITIAL COMMENT
B	10/1/25	INCREASE REAR ALLOTMENT 1.5M
C	15/1/25	ADJUST WINDOW SIZES AND HEADS
D		
E		
F		
G		
H		
I		
J		
K		

ROOM SCHEDULE								
LEVEL	NAME	AREA	PERIMETER	FLOOR FINISH	CLASS	FLOOR HEATING	CEILING FINISH	BASE FINISH

BUILDING AREAS

LEVEL	NAME	AREA
-------	------	------

SHEET LIST

SHEET NUMBER	SHEET NAME
--------------	------------

0	TITLE
WD01	SITE PLAN
WD02	GROUND FLOOR PLAN
WD04	NORTH & EAST ELEVATIONS
WD05	SOUTH & WEST ELEVATIONS
WD06	SECTIONS
WD07	DETAILS
WD07A	BALCONY DETAILS
WD07B	DETAILS
WD08	SUBFLOOR
WD09	WALL FRAME
WD10	ROOF
WD11	WET AREAS
WD12	NOTES
WD12A	ROOF DRAINAGE
WD13	STRUCTURE
WD15	AREAS
WD17	LOWER ELECTRICAL
WD19B	BRACING
WD19C	TIEDOWNS
WD19D	FOOTINGS AND FIRE

WINDOW SCHEDULE

LEVEL	MARK	TYPE	HEIGHT	WIDTH	SILL HEIGHT	HEAD HEIGHT	COMMENTS	ROOM
-------	------	------	--------	-------	-------------	-------------	----------	------

DOOR SCHEDULE

LEVEL	MARK	TYPE	WIDTH	HEIGHT	SILL HEIGHT	HEAD HEIGHT	COMMENTS	ROOM
-------	------	------	-------	--------	-------------	-------------	----------	------

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WEST WIMMERA SHIRE

LOT 1 & 2 LANGFORD ST
EDENHOPE

SCALE

(A3)

DRAWING

TITLE

ISSUE:

DESIGN

PROJECT NUMBER

24-49

DATE

31/12/24

NO

0

DO NOT SCALE
DRAWINGS

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DO NOT SCALE
DRAWINGS

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COMMENCES



VISUAL SCALE 1:200 @ A3

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WRITTEN DIMENSIONS TO TAKE PRECEDENCE

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REV C
15/1/25

WEST WIMMERA
SHIRE
2 X 3 BED HOUSES

LOT 1 & 2
LANGFORD ST
EDENHOPE

PROJECT NUMBER
24-49

DATE
31/12/24

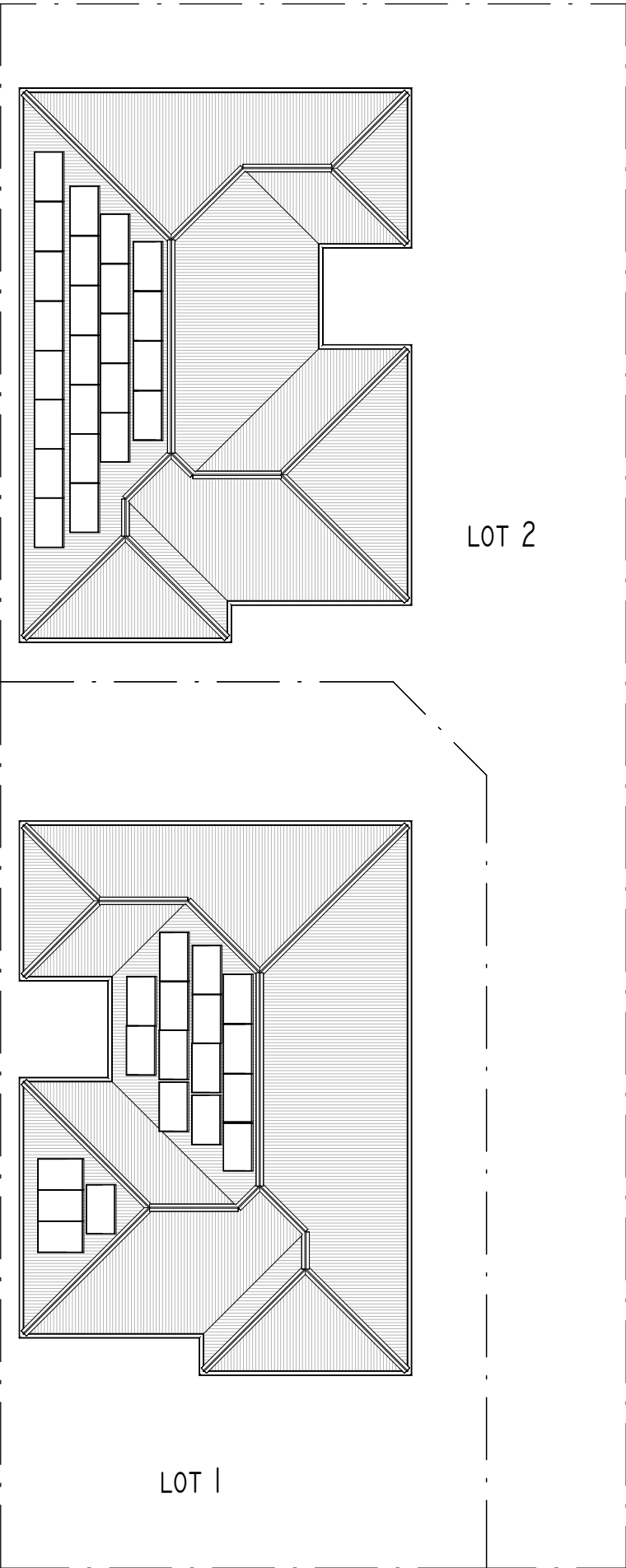
SCALE
1 : 200 (A3)

DRAWING
SITE PLAN

ISSUE:
DESIGN

NO
WD01

VIC REG
DP-AD 59100



0. SITE

SCALE: 1 : 200

LANGFORD ST

FINAL FOR TOWN PLANNING

KEYNOTES

CODE DESCRIPTION

FINISHES SCHEDULE

- COLORBOND ROOF -
- COLORBOND FASCIAS AND GUTTERS -
- PANEL LIFT DOOR - MADISON PROFILE -
- ENTRANCE DOOR - FEATURE TIMBER -
- WINDOWS - ALUMINIUM -
- FACE BRICK -
- RENDER -
- FEATURE CLADDING -

102900 GF CEILING

100300 GROUND FLOOR

100000 TBM



NORTH ELEVATION

SCALE: 1 : 100

FF CEILING 106180

FIRST FLOOR 103450

GF CE 102900 GF CEILING

GROUGROUND F100300GROUND FLOOR

2730



EAST ELEVATION

SCALE: 1 : 120



TBM 100000

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REVISIONS
REV C
15/1/25

WEST WIMMERA SHIRE

LOT 1 & 2 LANGFORD ST
EDENHOPE

SCALE
As indicated (A3)
DRAWING
NORTH & EAST ELEVATIONS

ISSUE:
DESIGN

PROJECT NUMBER
24-49

DATE
31/12/24

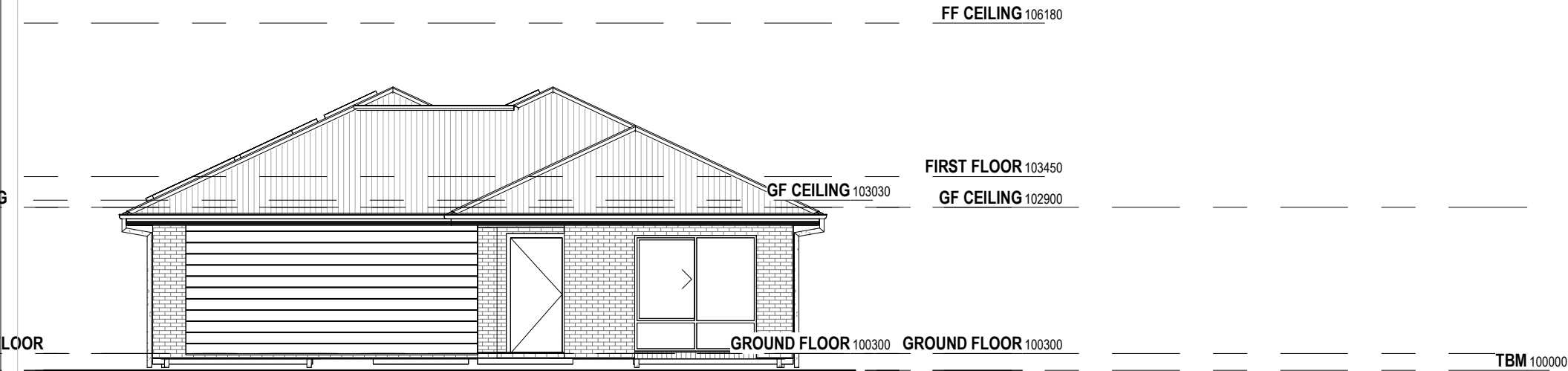
NO
WD04

DO NOT SCALE
DRAWINGS

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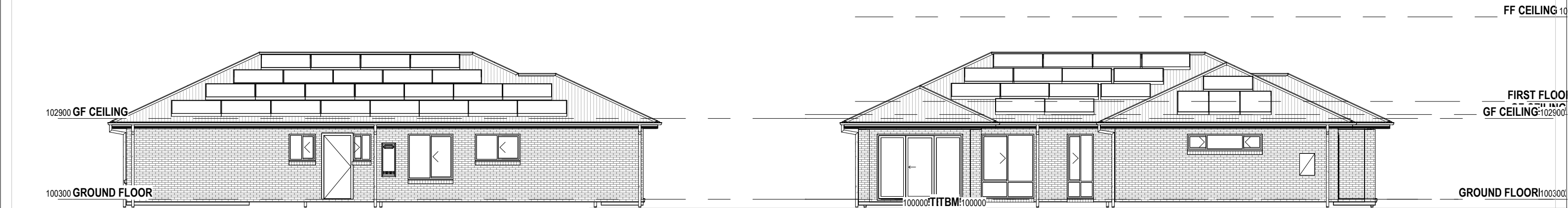
KEYNOTES

CODE DESCRIPTION



SOUTH ELEVATION

SCALE: 1 : 100



WEST ELEVATION

SCALE: 1 : 120

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REVISIONS
REV C
15/1/25

WEST WIMMERA SHIRE

LOT 1 & 2 LANGFORD ST
EDENHOPE

SCALE
As indicated (A3)
DRAWING
SOUTH & WEST ELEVATIONS

ISSUE:
DESIGN

PROJECT NUMBER
24-49

DATE
31/12/24

NO
WD05

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