

REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

Page 1 of 1

VOLUME 10205 FOLIO 241

Security no : 124117387689P
Produced 13/08/2024 10:43 AM

CROWN GRANT

LAND DESCRIPTION

Crown Allotment 35A Section 28 Township of Kaniva Parish of Kaniva.

REGISTERED PROPRIETOR

Estate Fee Simple
Sole Proprietor

ENCUMBRANCES, CAVEATS AND NOTICES

Any crown grant reservations exceptions conditions limitations and powers noted on the plan or imaged folio set out under DIAGRAM LOCATION below. For details of any other encumbrances see the plan or imaged folio set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE TP069240E FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: YEARINGA ROAD KANIVA VIC 3419

ADMINISTRATIVE NOTICES

NIL

eCT Control 09922A WEST WIMMERA SHIRE COUNCIL
Effective from 19/01/2017

DOCUMENT END

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TITLE PLAN		EDITION 1		TP 69240E	
<div>Location of Land</div> <div>Parish: KANIVA</div> <div>Township: KANIVA</div> <div>Section: 28</div> <div>Crown Allotment: 35A</div> <div>Crown Portion:</div> <div>Last Plan Reference:</div> <div>Derived From: VOL 10205 FOL 241</div> <div>Depth Limitation: 15 m</div>			<div>Notations</div> <div>SUBJECT TO THE RESERVATIONS EXCEPTIONS CONDITIONS AND POWERS CONTAINED IN CROWN GRANT VOL. 10205 FOL. 241 AND NOTED ON SHEET 2 OF THIS PLAN</div> <div>ANY REFERENCE TO MAP IN THE TEXT MEANS THE DIAGRAM SHOWN ON THIS TITLE PLAN</div>		
<div>Description of Land / Easement Information</div>				<div>THIS PLAN HAS BEEN PREPARED FOR THE LAND REGISTRY, LAND VICTORIA, FOR TITLE DIAGRAM PURPOSES AS PART OF THE LAND TITLES AUTOMATION PROJECT</div> <div>COMPILED: 05/08/1999</div> <div>VERIFIED: BH</div>	
<div><div><div>PLANNING & ENVIRONMENT ACT 1987</div><div>WEST WIMMERA SHIRE PLANNING SCHEME</div><div>The plan/application is endorsed for</div><div>NOTICE in respect of the below Permit.</div><div>Permit No: PA1192 Date: 15/08/2025</div><div>(West Wimmera Shire Council)</div></div><div><div><div>ROAD</div><div>97°37'40"</div><div>573.7</div><div>BOUNDARY</div></div><div><div>28</div><div>35A</div><div>30.24ha</div></div><div><div>304.49</div><div>187°38'</div><div>ROAD</div></div><div><div>454.98</div><div>232°28'20"</div><div>ROAD</div></div><div><div>229.46</div><div>277°38'</div><div>KELLY STREET</div></div><div><div>603.7</div><div>7°38'</div><div>PATERSON STREET</div></div></div></div>					
LENGTHS ARE IN METRES		Metres = 0.3048 x Feet		Sheet 1 of 2 sheets	
		Metres = 0.201168 x Links			

	TITLE PLAN	TP 69240E
<p style="text-align: center;">LAND DESCRIPTION INCLUDING RESERVATIONS EXCEPTIONS</p> <p style="text-align: center;">CONDITIONS AND POWERS SHOWN ON THE CROWN GRANT</p> <p style="text-align: right;">all that piece of land in the said State being Allotment THIRTY-FIVE A of</p> <p>Section TWENTY-EIGHT in the TOWNSHIP OF KANIVA Parish of Kaniva and being the land shown enclosed by continuous lines in the map hereon and identified by that allotment number</p> <p>Provided that this Grant is made subject to -</p> <p>(a) the reservation to Us Our heirs and successors of -</p> <p>(i) any minerals within the meaning of the <i>Mineral Resources Development Act 1990</i> and petroleum within the meaning of the <i>Petroleum Act 1958</i> (hereinafter called "the reserved minerals");</p> <p>(ii) rights of access for the purpose of searching for and obtaining the reserved minerals in any part of the said land;</p> <p>(iii) rights for access and for pipe-lines works and other purposes necessary for obtaining and conveying on and from the said land any of the reserved minerals which is obtained in any part of the said land;</p> <p>(b) the right to resume the said land for mining purposes pursuant to section 205 of the <i>Land Act 1958</i>;</p> <p>(c) the right of any person being a licensee under the <i>Mineral Resources Development Act 1990</i> or any corresponding previous enactment to enter on the said land and to do work within the meaning of that Act and to erect and occupy mining plant or machinery thereon in the same manner and under the same conditions and provisions as those under which such a person has now the right to do such work in and upon Crown lands provided that compensation as prescribed by Part 8 of that Act is paid for surface damage to be done to the said land by reason of doing such work on it.</p>		
LENGTHS ARE IN METRES	Metres = 0.3048 x Feet Metres = 0.201168 x Links	Sheet 2 of 2 sheets

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AN473272P

APPLICATION BY SUCCESSOR CORPORATION

Section 59A Transfer of Land Act 1958

Lodged by:

Name:

Phone:

Address:

Customer Code:

Privacy

The info
collected

used for the purpose of maintaining
publicly searchable registers and
indexes.

19/01/2017

\$185.40

59



The applicant, being the successor in law to the registered proprietor, applies to be registered as proprietor of the estate and interest of the former body corporate in the land described.

Land: *(title, mortgage, charge or lease)*

SEE SCHEDULE OF TITLES ATTACHED

Applicant: *(full name and address including postcode)*

Grounds of Application:

SUCCESSOR IN LAW TO THE REGISTERED PROPRIETOR

Registered Proprietor: *(full name(s) of former body corporate)*

SEE CERTIFICATE ATTACHED

Date: 12/01/2017

Signature of Applicant

or

Signature of Australian Legal Practitioner
under the *Legal Profession Uniform Law*
(Victoria)
for applicant

X59A

THE BACK OF THIS FORM MUST NOT BE USED

AN473272P

19/01/2017

\$185.40

59



**CERTIFICATE PURSUANT TO
SECTION 59A (2) OF THE *TRANSFER OF LAND ACT 1958***

certify that:

1. I am the

2. The successor body is the successor at law to the body or bodies listed below ("the former body").

3. The property, rights or liabilities of the former bodies have been vested by operation of law in, or become the property, rights and liabilities of the successor body.

Date : 9 January 2017

Signed:

Name(s) of former body or bodies:

THE PRESIDENT COUNCILLORS AND RATEPAYERS OF THE SHIRE OF KOWREE
THE PRESIDENT COUNCILLORS AND RATEPAYERS OF THE SHIRE OF KOWREE
KOWREE SHIRE COUNCIL

THE PRESIDENT COUNCILLORS AND RATEPAYERS OF THE MUNICIPALITY OF THE SHIRE OF KOWREE

THE PRESIDENT COUNCILLORS AND RATEPAYERS OF THE SHIRE OF LOWAN

THE PRESIDENT COUNCILLORS & RATEPAYERS OF THE SHIRE OF KOWREE

THE PRESIDENT COUNCILLORS AND RATEPAYERS OF THE SHIRE OF LAWLOIT

THE PRESIDENT COUNCILLORS AND RATEPAYERS OF THE SHIRE OF KANIVA

PRESIDENT COUNCILLORS AND RATEPAYERS OF THE SHIRE OF KANIVA

KANIVA SHIRE COUNCIL

10007/949	3812/291	8130/816	8532/452	9386/513
10096/475	3940/834	8135/761	8537/476	9394/477
10096/642	4105/846	8145/830	8576/503	9410/979
10139/466	4451/013	8153/235	8668/504	9412/445
10150/646	4512/280	8174/709	8678/850	9421/543
10162/916	4521/052	8178/278	8678/865	9421/797
10183/928	4545/811	8178/665	8713/912	9428/218
10205/241	4545/812	8180/770	8718/473	9428/527
10227/752	4559/660	8186/689	8721/131	9439/877
1609/763	4724/626	8189/918	8723/734	9451/325
1616/151	4810/839	8205/037	8735/335	9457/326
17/244	4968/534	8223/658	8738/059	9463/566
1774/796	5051/191	8239/006	8748/454	9491/791
1863/561	5158/453	8246/335	8750/024	9495/392
1943/465	5252/387	8248/677	8750/081	9495/393
2037/214	5330/911	8249/661	8750/260	9500/430
2093/505	5388/547	8250/683	8753/932	9508/709
2132/251	5567/229	8267/187	8756/401	9545/834
2169/668	5745/838	8271/847	8758/111	9562/473
2175/969	5765/997	8276/958	8824/873	9562/474
2306/099	5771/091	8306/969	8833/232	9562/475
2311/143	5790/893	8308/022	8853/755	9658/623
2334/784	5810/997	8313/581	8853/756	9658/655
2469/757	5813/419	8321/542	8866/354	9707/356
2469/758	5897/377	8323/427	8882/728	9721/092
2503/490	6004/723	8331/109	8895/068	9737/345
2503/491	6136/194	8331/795	8895/069	9784/340
2514/726	6136/195	8340/816	8909/023	9800/906
2514/727	6203/523	8345/892	8912/962	9839/515
2514/728	6208/428	8365/500	8922/953	9857/929
2515/931	6322/391	8366/107	8939/543	9859/413
2568/516	6470/846	8366/108	8995/200	9908/071
2608/468	6626/085	8366/129	9153/104	9908/074
2626/088	7000/966	8371/069	9153/853	
2656/002	7206/074	8376/772	9208/367	
2991/130	7258/586	8378/482	9302/635	
3031/107	7759/175	8379/036	9302/636	
3116/102	7780/173	8382/468	9302/637	
3226/025	7790/191	8382/973	9310/180	
3235/976	7842/171	8384/572	9310/189	
3244/678	7851/055	8384/985	9310/190	
3327/212	7934/101	8395/682	9325/615	
3401/185	8045/842	8398/358	9332/835	
3440/838	8047/515	8398/363	9332/836	
3531/139	8062/315	8415/112	9347/825	
3536/109	8083/348	8422/976	9361/283	
3567/230	8099/218	8454/860	9361/284	
3587/216	8107/757	8473/099	9371/318	
3597/222	8120/896	8493/893	9374/668	
3658/509	8123/546	8503/465	9386/374	

AN473272P

19/01/2017 \$185.40 59



PLANNING
WESTERN
THE MINNER & ENGINE
NOTICE
Permit No. 1192 State of New South Wales
(Wait for inspection of the proposed scheme
on 11/08/2017)



Planning Enquiries
Phone: (03) 5585 9900
Web: www.westwimmera.vic.gov.au



Office Use Only

Application No.:

Date Lodged: / /

Application for a Planning Permit

If you need help to complete this form, read MORE INFORMATION at the end of this form.

Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*. If you have any questions, please contact Council's planning department.

Questions marked with an asterisk (*) must be completed.

If the space provided on the form is insufficient, attach a separate sheet.

Click for further information.

The Land

Address of the land. Complete the Street Address and one of the Formal Land Descriptions.

Street Address *

Unit No.:

St. No.:

St. Name: Kelly Street

Suburb/Locality: Kaniva

Postcode: 3419

Formal Land Description *

Complete either A or B.

This information can be found on the certificate of title.

If this application relates to more than one address, attach a separate sheet setting out any additional property details.

A

Lot No.:

☐ Lodged Plan

☒ Title Plan

☐ Plan of Subdivision

No.:

OR

B

Crown Allotment No.: 35A

Section No.: 28

Parish/Township Name: Township of Kaniva Parish of Kaniva

The Proposal

You must give full details of your proposal and attach the information required to assess the application. Insufficient or unclear information will delay your application.

For what use, development or other matter do you require a permit? *

Construction of three dwellings (key worker accommodation) and six lot subdivision
Clause 32.05-5 and 32.05-7 (Township Zone)

Provide additional information about the proposal, including: plans and elevations; any information required by the planning scheme, requested by Council or outlined in a Council planning permit checklist; and if required, a description of the likely effect of the proposal.

Estimated cost of any development for which the permit is required *

Cost \$ 1,800,000


You may be required to verify this estimate. Insert '0' if no development is proposed.

Existing Conditions

Describe how the land is used and developed now *

For example, vacant, three dwellings, medical centre with two practitioners, licensed restaurant with 80 seats, grazing.

Vacant land

 Provide a plan of the existing conditions. Photos are also helpful.

Title Information


Encumbrances on title *

Does the proposal breach, in any way, an encumbrance on title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?

☐ Yes (If 'yes' contact Council for advice on how to proceed before continuing with this application.)

☒ No

☐ Not applicable (no such encumbrance applies).

 Provide a full, current copy of the title for each individual parcel of land forming the subject site. The title includes: the covering 'register search statement', the title diagram and the associated title documents, known as 'instruments', for example, restrictive covenants.

Applicant and Owner Details

Provide details of the applicant and the owner of the land.

Applicant *

The person who wants the permit.

Please provide at least one contact phone number *

Where the preferred contact person for the application is different from the applicant, provide the details of that person.

Owner *

The person or organisation who owns the land

Where the owner is different from the applicant, provide the details of that person or organisation.

Name:

Title:

First Name:

Surname:

Organisation (if applicable): MPAA Studio

Postal Address:

If it is a P.O. Box, enter the details here:

Unit No.:

St. No.:

St. Name: PO Box 207

Suburb/Locality: Warrnambool

State: VIC

Postcode: 3280

Contact information for applicant OR contact person below

Business phone: 03 5562 9443

Email: info@mpaastudio.co

Mobile phone: 0439 166 719

Fax:

Contact person's details*

Same as applicant ☒

Name:

Title:

First Name:

Surname:

Organisation (if applicable):

Postal Address:

If it is a P.O. Box, enter the details here:

Unit No.:

St. No.:

St. Name:

Suburb/Locality:

State:

Postcode:

Name:

Same as applicant ☐

Title:

First Name:

Surname:

Organisation (if applicable):

Postal Address:

If it is a P.O. Box, enter the details here:

Unit No.:

St. No.:

St. Name:

Suburb/Locality:

State:

Postcode:


Owner's Signature (Optional):

Date:

day / month / year

Declaration

This form must be signed by the applicant *

 Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit.

I declare that I am the applicant; and that all the information in this application is true and correct; and the owner (if not myself) has been notified of the permit application.

Signature: 

Date: 30/01/2025

day / month / year

Need help with the Application?

General information about the planning process is available at planning.vic.gov.au

Contact Council's planning department to discuss the specific requirements for this application and obtain a planning permit checklist. Insufficient or unclear information may delay your application.

Has there been a pre-application meeting with a council planning officer?



No



Yes

If 'Yes', with whom?:

Date:

day / month / year

Checklist

Have you:

☐

Filled in the form completely?

☐

Paid or included the application fee?



Most applications require a fee to be paid. Contact Council to determine the appropriate fee.



Provided all necessary supporting information and documents?

☐

A full, current copy of title information for each individual parcel of land forming the subject site.

☐

A plan of existing conditions.

☐

Plans showing the layout and details of the proposal.

☐

Any information required by the planning scheme, requested by council or outlined in a council planning permit checklist.

☐

If required, a description of the likely effect of the proposal (for example, traffic, noise, environmental impacts).

☐

Completed the relevant council planning permit checklist?

☐

Signed the declaration above?

Lodgement

Lodge the completed and signed form, the fee and all documents with:

West Wimmera Shire Council
PO Box 201
Edenhope VIC 3318
49 Elizabeth Street
Edenhope VIC 3318

Contact information:

Phone: (03) 5585 9900

Email: council@westwimmera.vic.gov.au

Deliver application in person, by post or by electronic lodgement.



MPAA
STUDIO

PLANNING & ENVIRONMENT ACT 1987
WEST WIMMERA SHIRE PLANNING SCHEME
The plan/specialisation is endorsed for
NOTICE in respect of the below Permit
Permit No. PA11192 Date: 15/03/2025
(West Wimmera Shire Council)

TOWN PLANNING REPORT

Construction of three dwellings and six lot subdivision
Kelly Street, Kaniva
ISSUED JULY 2025

(03) 5562 9443
info@mpaastudio.co

1 Dispensary Lane, Warrnambool
Level 1, CoLab (above Allee Espresso)

OVERVIEW

Background

Address	Kelly Street, Kaniva
Lot Description	Crown Allotment 35A, Section 28, Township of Kaniva, Parish of Kaniva
Relevant Planning Controls	
Municipal Planning Strategy	Clause 02.01 Context
	Clause 02.02 Vision
	Clause 02.03 Strategic directions
Planning Policy Framework	Clause 11 Settlement
	Clause 15 Built Environment and Heritage
	Clause 16 Housing
	Clause 18 Transport
	Clause 19 Infrastructure
Zone	Township Zone
Overlays	None applicable
Particular Provisions	Clause 52.06 Car Parking
	Clause 55 Two or more dwellings
	Clause 56 Residential Subdivision
Other Relevant Documents	Wimmera Southern Mallee Regional Economic Development Strategy (2022)
	West Wimmera Economic Development Strategy (2024-2029)

Permit Application Details

Description of Proposal	Construction of three dwellings and six lot subdivision
Permit requirement	Clause 32.05-5: Township Zone - Subdivision.
	Clause 32.05-8: Township Zone - Construction of two or more dwellings on a lot.

QUALITY ASSURANCE

Town Planning Report

Construction of three dwellings and six lot
subdivision
Kelly Street, Karinya

Project Number

24-1444

Revision

03

Prepared By

AP/SM

Project Lead

SM

Issued

30 July 2025

Revision	Date	Issue
03	30 July 2025	Response to RFI
02	14 May 2025	Response to RFI
01	30 January 2025	Draft issued to client

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1. INTRODUCTION

This report has been prepared by MPAA Studio, on behalf of [REDACTED], in support of a planning permit application for the construction of three (3) dwellings and a six (6) lot subdivision at Kelly Street, Kaniva.

The proposal seeks to make use of excess land at the Kaniva Aerodrome to provide for key worker housing, to address a critical need within the community. The proposal seeks to provide three dwellings on the land intended to be used for key worker housing, on the corner of Kelly Street and Paterson Street.

The proposal also seeks to create two additional lots, provided with enabling services, to allow these lots to be developed in the future for key worker housing (although the dwellings are not part of this application).

The proposed lot layout has been carefully designed to reflect and reinforce the established character of Paterson Street, with lots featuring frontages of approximately 20 metres - consistent with other lots along the street, particularly those to the south-west of the site. Two smaller lots are proposed on the corner, which is consistent with subdivision patterns across the township where smaller corner lots can contribute positively to built form and street presence. These smaller lots also respond to the specific needs identified in the *West Wimmera Small Towns Housing Plan*, which highlights a growing demand for modest, accessible, and affordable homes suited to key workers, older residents, and smaller households.

The lot sizes proposed reflect the specific housing needs identified in Council's strategic work. Smaller housing typologies typically have reduced land area requirements and can still achieve high levels of amenity through good design. The subject site is well positioned in relation to services and employment opportunities, making it an ideal location for a range of housing types that can improve affordability, support local workforce needs, and contribute to Kaniva's future growth.

Overall, the proposal provides a site-responsive, policy-aligned outcome that supports housing diversity, addresses a critical local need, and complies with the provisions of the West Wimmera Planning Scheme.

Accordingly, the proposal triggers the following permit requirements:

- Clause 32.05-5: Township Zone - Subdivision.
- Clause 32.05-8: Township Zone - Construction of two or more dwellings on a lot.

Having considered the proposal with respect to the West Wimmera Planning Scheme, it is the conclusion of this report that the proposal is consistent with both state and local planning policy. As such, this report recommends, and requests Council issues a permit for the proposal.

The following documents should be read in conjunction with this report and are provided as part of the application:

- Planning application form
- Certificate of title
- Town Planning Drawings
- Clause 55 Assessment
- Clause 56 Assessment.

1.1. Limitations

This report has considered the following documents:

- West Wimmera Planning Scheme (Planning Scheme last updated by VC258 on Friday 4 July 2025).



2. SITE AND SURROUNDS

2.1. Site description and title particulars

Site address	Kelly Street (Yearlinga Road), Kaniva
Title details	Crown Allotment 35A, Section 28, Township of Kaniva, Parish of Kaniva
Site description	<p>The Site forms part of a larger parcel of land comprising the former Kaniva Aerodrome. The Site of the development is separately fenced from the larger parcel, and is vacant land not used for any purpose. Some scattered trees are located on the Site, but generally not near the Site of the proposed development, and no trees are to be removed as part of this proposal. A former weather station is also located on the Site, but not near the proposed development.</p> <p>In the north western corner of the Site is a small number of outbuildings and facilities used as the SSAA (Sporting Shooters Association of Australia) Victoria Nhill Shotgun Range. The Site of the proposed development is approximately 400 metres from the nearest range.</p> <p>The Site is generally flat, comprising an overall area of approximately 30 hectares, and is bound by Kelly Street to the south, Paterson Street / Yearlinga Road to the west, and unnamed roads to the north and east.</p>
Easements, restrictions or covenants	The land is not subject to any easements, restrictions or covenants.

Refer to Appendix A - Certificate of Title.

2.2. Site context

The subject site is located to the north of the established residential area of Kaniva, approximately 700 metres north of the township's main commercial area. The land forms part of the Kaniva Aerodrome reserve and represents a logical extension of the residential settlement pattern.

Surrounding land uses are predominantly residential, comprising mostly single dwellings on individual lots. The subdivision pattern in the immediate area varies in response to location and proximity to services. Along Paterson Street and adjacent streets to the west and south-west, lot sizes are generally in the range of 768–830 square metres, with a clear and consistent frontage of approximately 20 metres. These lots establish a typical pattern of development for the area, combining moderate lot sizes with a walkable, grid-style street layout.

To the east and south-east of the subject site, lots tend to be larger, with average lot sizes ranging from approximately 1,178 to 1,395 square metres. This reflects a more open, spacious residential character. Smaller lots are evident on corners - such as the 576 sqm lots at the corner of Kelly and Paterson Streets - indicating that a mix of lot sizes has historically been used to support a diversity of housing outcomes, particularly in locations offering good street interface.

Land to the north and north-west is within the Farming Zone and comprises much larger rural lots, with sizes ranging from 1,193 square metres up to 3.66 hectares. This provides a distinct transition between the urban edge of Kaniva and the surrounding rural landscape.

The subject site sits comfortably within this mixed context, and the proposed subdivision responds to both the existing residential character and the evolving need for diverse, modestly sized lots to support key worker and affordable housing—consistent with Council’s strategic direction for Kaniva.

The site of the development is shown in Figure 1 below. An analysis of the surrounding lot sizes is provided in Figure 2 below.



Figure 1: Aerial Plan



Figure 2: Lot Size Analysis

3. PROPOSAL

3.1. Overview

The proposal seeks to provide three dwellings on the land, to be used for key worker accommodation. The proposal also seeks to provide a six-lot subdivision, as described below.

Dwellings

Each dwelling comprises a single storey design, with a maximum height of no more than approximately 5.2 metres.

The dwellings are to be provided with separate access and crossovers, to allow for independent access to each dwelling.

The dwellings are generally setback around 6 metres to the Patterson Street boundary, and each comprise an attached double garage setback behind the front wall of the dwelling.

It is intended to provide 1.8m perimeter fencing on the boundaries of the site (except for along the street frontages) and between the dwellings to provide for separation between the dwellings.

The dwellings utilise pitched roofs at 25 degrees, constructed of Colorbond sheeting, with solar panels located on the north facing roof. The dwellings are to be clad in brickwork.

Floor plan

Each dwelling is provided with:

- Entry and porch
- Attached double garage
- Bedrooms (Lot 1 dwelling is provided with 4 bedrooms whilst Lot 2 and Lot 3 dwellings are each 3 bedrooms)
- Bathroom and laundry
- Open plan kitchen, living and dining area
- Alfresco area with direct access to the living area and rear yard.

Refer to Town Planning Drawings for full details of proposed dwellings.

Subdivision

The proposed subdivision comprises the following:

- Lots 1 - 3 comprise the dwelling lots, and are orientated with their primary frontage to Paterson Street. Lot areas range from 536 square metres to 695 metres.
- Lots 4 and 5 are intended to comprise vacant lots, constructed with enabling infrastructure ready to be used for future dwellings (noting these would be exempt from requiring a permit). Lots 4 and 5 comprise an area of 789 square metres and are orientated to Kelly Street.
- Lot A comprises a balance lot. 6 and 7 comprising balance land, each comprising each the balance Township Zoned land and Farming Zoned land.

3.2. Planning permit triggers

In accordance with the provisions of the West Wimmera Planning Scheme, the proposal triggers the following planning permit requirements:

- Clause 32.05-5: Township Zone - Subdivision.
- Clause 32.05-8: Township Zone - Construction of two or more dwellings on a lot.

4. PLANNING POLICIES AND CONTROLS

4.1. Municipal Planning Strategy

The Municipal Planning Strategy (MPS) sets out the municipal context, outlines the Council vision, and provides for strategic directions for planning with a focus on specific areas and issues within West Wimmera. The most relevant clauses within the MPS are set out below.

[Clause 02.01 Context](#)

The West Wimmera Shire straddles the Western and Wimmera Highways, midway between Melbourne and Adelaide. Occupying an area of approximately 9000 square kilometres, West Wimmera Shire is one of the largest municipalities in Victoria. Despite its land size the Shire has a small population of 3903 persons as of the 2016 census. Kaniva is identified as one of the predominate towns, alongside Apsley, Edenhope, Goroke and Harrow.

[Clause 02.02 Vision](#)

West Wimmera Shire's Vision 2017-2020 is to ensure the municipality's communities are healthy, thriving, diverse, harmonious, prosperous and self-sustaining, with regional and global connectivity.

Clause 02.03 Strategic directions

Relevant local strategic directions for this application are as follows:

[Clause 02.03-1 Settlement](#)

Kaniva: Kaniva functions both as a service centre for the surrounding agricultural area and as a rest stop for travellers on the way to regional destinations and Adelaide. The local community sees the location of the town on the Western Highway and the railway as a major asset, and its location has significantly contributed to the formation of the town's character. Key strategic directions include:

- Provide sufficient land and direct growth to the major townships of Edenhope, Kaniva, Goroke, Apsley, and Harrow.
- Enhance the roles of the major townships of Edenhope, Kaniva, Goroke, Apsley, and Harrow as the service and business centres for the Shire and as focal points for communities.
- Promote Kaniva as a key service centre in the northern part of the Shire for the local and surrounding rural community.

[Clause 02.03-5 Built environment and heritage](#)

Built environment: Maintaining the valued built form aspects of the municipality helps to provide character and identity to townships and landscapes and in certain situations contributes to the tourism potential of the municipality. Where the built form character of an area is established and valued, new development should respect this character and add to the overall quality of the urban environment as well as incorporating the principles of Environmentally Sensitive Design.

Landscaping is an integral and valued component of West Wimmera's urban environment. Good landscape design enhances the quality of the urban environment and contributes to the continuity and connectivity of township character. When we plan our townships, greater consideration should be given to the value of landscape design.

Key strategic directions include:

- Facilitate built form and public spaces that are safe, healthy, functional and enjoyable and contribute to a sense of place and cultural identity.
- Encourage energy saving, water conservation, and the principles of Environmentally Sustainable Design to be incorporated into development.
- Encourage residential subdivisions to integrate with the existing community.
- Increase vegetation across the municipality.

- Ensure that development creates and maintains a landscape setting that supports the amenity, attractiveness and safety of the public realm.

[Clause 02.03-6 Housing](#)

As the population ages a more diverse range of housing is required. Provision also needs to be made for housing that can be adapted to cater for people with disabilities when the need arises. Urban consolidation is encouraged in areas that have the physical infrastructure, community facilities and commercial facilities to support the population. Strategic directions include:

- Encourage increased housing densities in existing settlements.
- Encourage a diversity of housing types and lot sizes to meet the needs of all residents and visitors to the municipality.
- Facilitate more affordable housing options in the municipality.

See [Section 5.2.1](#) for an assessment of the application against the Municipal Planning Strategy.

4.2. Planning Policy Framework (PPF)

To ensure the overarching objectives of planning in Victoria are met, policies contained within the Planning Policy Framework (PPF) must be considered. The PPF clauses and key strategies of most relevance the Site and the proposal are set out below.

[Clause 11.01-1S Settlement](#)

To promote the sustainable growth and development of Victoria and deliver choice and opportunity for all Victorians through a network of settlements.

[Clause 11.01-1R Settlement - Wimmera Southern Mallee](#)

Provide local and some sub-regional services in Dimboola, Kaniva and Murtoa.

[Clause 11.01-1L-02 Settlement - Kaniva](#)

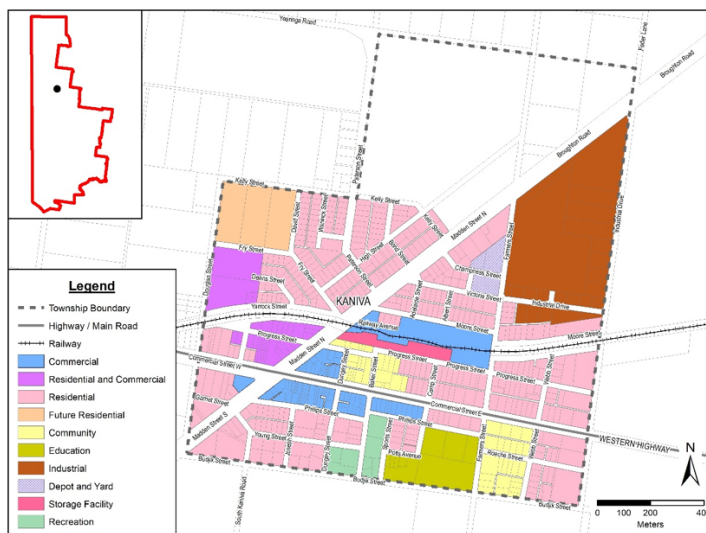


Figure 3: Kaniva Framework Plan

[Clause 15.01-2S Building Design](#)

To achieve building design and siting outcomes that contribute positively to the local context, enhance the public realm and support environmentally sustainable development.

[Clause 15.01-3S Subdivision Design](#)

To ensure the design of subdivisions achieves attractive, safe, accessible, diverse and sustainable neighbourhoods.

[Clause 15.01-3L Subdivision Design - West Wimmera](#)

Encourage residential subdivision to include permeable fencing or landscaping in areas adjacent to roads and reserves.

[Clause 15.01-5S Neighbourhood character](#)

To recognise, support and protect neighbourhood character, cultural identity and sense of place.

[Clause 16.01-1S Housing supply](#)

To facilitate well-located, integrated and diverse housing that meets community needs.

[Clause 16.01-2S Housing affordability](#)

To deliver more affordable housing closer to jobs, transport and services.

[Clause 18 Transport](#)

Planning should ensure a safe, integrated and sustainable transport system that:

- Provides access to social and economic opportunities to support individual and community wellbeing.
- Facilitates economic prosperity.
- Actively contributes to environmental sustainability.
- Facilitates network-wide efficient, coordinated and reliable movements of people and goods.
- Supports health and wellbeing.

[Clause 19.03-2S Infrastructure design and provision](#)

To provide timely, efficient and cost-effective development infrastructure that meets the needs of the community.

[Clause 19.03-3L Integrated water management](#)

Control urban run-off to protect and enhance waterways.

Reduce sediment and nutrients entering waterways.

See **Section 5.2.1** for an assessment of the application against the Planning Policy Framework.

4.3. Township Zone

The Site is partly located within the Township Zone. The purpose of [Clause 32.05](#) Township Zone is:

- To provide for residential development and a range of commercial, industrial and other uses in small towns.
- To encourage development that respects the neighbourhood character of the area.
- To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.

Permit triggers:

Pursuant to Clause 32.05-5, a permit is required to subdivide land. An application to subdivide land must meet the requirements of Clause 56, must meet all the objectives and should meet all the standards as specific in the table.

Pursuant to Clause 32.05-8, a permit is required to construct two or more dwellings on a lot. A development must meet the requirements of Clause 55.

Use requirements:

Clause 32.05-3 requires that a lot used for a dwelling must be provided with appropriate services. In accordance with this Clause, the proposed dwellings are to be provided with reticulated sewer, as confirmed by GWM Water, and which is expected to be confirmed via standard referral. Reticulated power is to be provided to the dwellings, subject to the requirements of the power authority. Water tanks are to be provided for each dwelling.

There are no specific **Application requirements** listed in the Zone. **Decision guidelines** are listed at Clause 32.05-14.

See **Section 5.2.2** for an assessment of the application against the Township Zone.

4.4. Overlays

The Site is not located within any overlays.

4.5. Particular Provisions

4.5.1. [Clause 52.06 Car Parking](#)

The purposes of Clause 52.06 include:

- To ensure the provision of an appropriate number of car parking spaces having regard to the demand likely to be generated, the activities on the land and the nature of the locality.
- To support sustainable transport alternatives to the motor car.
- To promote the efficient use of car parking spaces through the consolidation of car parking facilities.
- To ensure that car parking does not adversely affect the amenity of the locality.
- To ensure that the design and location of car parking is of a high standard, creates a safe environment for users and enables easy and efficient use.

Clause 52.06 applies to an application for a new use. Before a new use commences, the number of car parking spaces required under Clause 52.06-5 must be provided to the satisfaction of the responsible authority. A permit is required to reduce the number of car parking spaces required under Clause 52.06-5.

The table at Clause 52.06-5 states for dwellings with three bedrooms, two car parking spaces must be provided, with one space being undercover.

Pursuant to Clause 52.06-3, there is no requirement for a planning permit under the provisions of the clause.

4.5.2. [Clause 55 Two or More Dwellings on a Lot](#)

Clause 55 is applicable to the application as two or more dwellings are proposed on one lot. The purpose of this particular provision is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To achieve residential development that respects the existing neighbourhood character or which contributes to a preferred neighbourhood character.
- To encourage residential development that provides reasonable standards of amenity for existing and new residents.
- To encourage residential development that is responsive to the site and the neighbourhood.

A Clause 55 Assessment has been provided at **Appendix C** to demonstrate compliance with the objectives.

4.5.3. [Clause 56 Residential Subdivision](#)

Clause 56 is applicable to the application as two or more dwellings are proposed on one lot. The purpose of this particular provision is:

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To create liveable and sustainable neighbourhoods and urban places with character and identity.
- To achieve residential subdivision outcomes that appropriately respond to the site and its context for regional cities and towns.
- To ensure residential subdivision design appropriately provides for:
 - o Policy implementation, liveable and sustainable communities, residential lot design, urban landscape, access and mobility management, integrated water management, site management, utilities.

A Clause 56 Assessment has been provided at **Appendix D** to demonstrate compliance with the objectives.

4.6. [Other planning considerations](#)

4.6.1. [Aboriginal Cultural Heritage Sensitivity](#)

The Site is not identified as being an 'area of cultural heritage sensitivity' pursuant to the Aboriginal Heritage Regulations 2018. These areas relate to landforms and soil types where Aboriginal places are more likely to be located.

A Cultural Heritage Management Plan (CHMP) is required for an activity if the activity is a 'high impact activity' and falls in whole or part within an area of cultural heritage sensitivity. Division 2 of the Aboriginal Heritage Regulations 2018 set out various exempt activities for which a CHMP is not required.

As the land is not within an area of cultural heritage sensitivity, a CHMP is not required for this proposal.

4.6.2. [Wimmera Southern Mallee Regional Economic Development Strategy \(2022\)](#)

The Wimmera Southern Mallee Regional Economic Development Strategy (the Wimmera Southern Mallee REDS) sets out the medium- to long-term strategic directions for driving economic growth and development in the broader Wimmera Southern Mallee region (comprising the Local Government Areas of Hindmarsh, Horsham, Northern Grampians, West Wimmera and Yarriambiack).

The Wimmera Southern Mallee REDS defines four strategic directions for economic development in the region, based on comprehensive data analysis and review of existing policies and strategies:



Figure 4: Wimmera Southern Mallee REDS Strategic Directions

Housing challenges, including the lack of availability of housing and housing affordability, is a key challenge identified in attracting essential and skilled workers in all but one of the four strategic direction areas identified in the REDS. For some industries (such as skilled workers for renewable energy generation), this is particularly exacerbated in the Wimmera.

4.6.3. West Wimmera Economic Development Strategy (2024-2029)

The West Wimmera Economic Development Strategy (WWEDS) sets out the vision for the economy of West Wimmera Shire Council, and the strategies and actions to achieve that overarching vision. The WWEDS is deliberately aligned to the REDS to support the regional strategic directions.

The Vision and supporting Economic Development Pillars are provided below:



Figure 5: Vision and Supporting Pillars, WWEDS

Key recommendations to implement Pillar 2 Liveability and Amenity include:

- Advocate for worker accommodation.
- Identify initiatives to addressing housing shortage.

5. PLANNING ASSESSMENT

5.1. Overview

The following chapter outlines the key planning considerations of the proposal in response to relevant policy and the provisions of the West Wimmera Planning Scheme. In summary, the following key considerations are relevant to the assessment of the proposal:

- Is the proposal consistent with the Municipal Planning Strategy and the Planning Policy Framework?
- Does the proposal appropriately respond to the Township Zone?
- Does the proposal appropriately respond to the relevant particular provisions?
- Does the proposal provide for a net community benefit?

5.2. Key considerations

5.2.1. Is the proposal consistent with the Municipal Planning Strategy and the Planning Policy Framework?

The proposal requires assessment under the Planning Policy Framework (PPF) and Municipal Planning Strategy (MPS) of the West Wimmera Planning Scheme.

The proposal seeks to support the identified need for key worker accommodation within Kaniva. The proposal effect to both the West Wimmera Economic Development Strategy and the Wimmera Southern Mallee REDS, which both identify housing affordability as one of the key economic challenges of the area (Clause 16.01-1L **Housing supply** and Clause 16.01-2S **Housing affordability**).

The dwellings will contribute to the available accommodation within Kaniva, immediately adjoining an area developed for dwellings, and will support a small increase in growth in population in Kaniva. It is noted the Kaniva framework plan does not identify a land use for the Site, however, the Site is located within the identified Township Boundary, and the residential use is considered appropriate given the immediately adjoining residential uses south of Kelly Street (Clause 02.01 **Context**, Clause 02.02 **Vision**, Clause 02.03-1 **Settlement** and Clause 02.03-1L-02 **Settlement - Kaniva**).

The proposed dwellings are conventional in design, comprising a single storey form, and are well suited to the surrounding low scale character of development within the Kaniva township. The dwellings are sited to respect the character and pattern of dwellings in the area, and will positively contribute to the streetscape. Consistent with the Municipal Planning Strategy the proposal provides suitable areas for landscaping, to integrate the dwellings with surrounding development, and support the enhancement of the township character of Kaniva. The subdivision has been designed to integrate with the existing community be complementing the pattern of development of the surrounding area, and will be compatible with the existing subdivision character. In accordance with local policy, the subdivision avoids the use of fencing adjacent to the road reserves. (Clause 02.03-5 **Built environment and heritage**, Clause 15.01-3S and Clause 15.01-3L **Subdivision design - West Wimmera**, Clause 15.01-5S **Neighbourhood character**).

The proposal is generally considered to be consistent with the PPF and MPS.

5.2.2. Does the proposal appropriately respond to the Township Zone?

The purpose of the Township Residential Zone includes to provide for residential development in small towns which respects the neighbourhood character of the area.

The proposal seeks to contribute to housing supply and affordability, and is compatible with the surrounding scale and neighbourhood character of the area.

The proposal is generally considered to meet the purpose and decision guidelines of the Township Zone.

A response to the relevant decision guidelines of Clause 32.05-14 is provided below.

Decision Guideline	Response
General Issues	
The Municipal Planning Strategy and the Planning Policy Framework	Please refer to Section 5.2.1 of this report.
The protection and enhancement of the character of the town and surrounding area including the retention of vegetation.	The proposed dwellings are to be provided with landscaping to enhance the character of the locality.
The availability and provision of utility services, including sewerage, water, drainage, electricity and telecommunications.	Appropriate services are located nearby, including reticulated sewer and water, power and telecommunications. These requirements will be confirmed through referral of the application.
The design, height, setback and appearance of the proposed buildings and works including provision for solar access.	The design, height, setback and appearance of the proposed dwellings will integrate with the predominantly single storey built form character of the locality. The dwellings make good use of the solar access of the Site to provide rooftop solar energy systems on the north facing roof systems.
The impact of overshadowing on existing rooftop solar energy systems on dwellings on adjoining lots in a Township Zone.	There are no directly adjoining dwellings, as nearby dwellings are located adjacent to the land and separated by existing roads. The dwellings are single storey and are well located on the site as to not cause any future issues relating to overshadowing of solar energy systems.
Subdivision	
The pattern of subdivision and its effect on the spacing of buildings.	The subdivision will provide for the appropriate spacing of buildings, with lot sizes and frontages that are generally consistent with the established pattern of development in the surrounding area. The proposed layout allows for modest dwellings with adequate separation, setbacks, and landscaping opportunities, ensuring a built form outcome that is in keeping with the character of Paterson Street and the broader residential context of Kaniva.
For subdivision of land for residential development, the objectives and standards of Clause 56.	The proposal has considered Clause 56 objectives. A Clause 56 assessment is provided as part of this planning application (Appendix C).
Dwellings, small second dwellings and residential buildings	
For two or more dwellings on a lot, dwellings on common property and residential buildings, the objectives, standards and decision guidelines of Clause 55.	The proposal has considered Clause 55 objectives. A Clause 55 assessment is provided as part of this planning application.



5.2.3. Does the proposal appropriately respond to the relevant particular provisions?

Clause 52.06 Car Parking

The proposal considers Clause 52.06 as appropriate. Each dwelling contains three or more (3) bedrooms and therefore requires two (2) car parking spaces, with one (1) space undercover.

The proposal provides for a double garage for each dwelling, designed and integrated into the dwelling. The garages exceed the minimum requirements for the sizes of garages, and will provide practical car parking for each dwelling. The proposal is considered to comply with the provisions of Clause 52.06 Car Parking.

Clause 55 Two or more dwellings on a lot

The proposal has considered the relevant standards and objectives of Clause 55. It was found that the development has provided a good response to these considerations, complying with all objectives and with only minor variations to a small number of standards.

A full detailed assessment is provided as part of the application at Appendix C.

Clause 56 Residential subdivision

The proposal has considered the relevant standards and objectives of Clause 56. It was found that the development has provided a good response to these considerations, complying with all objectives and with only minor variations to a small number of standards.

A full detailed assessment is provided as part of the application at Appendix D.

5.2.4. Does the proposal provide for a net community benefit?

In accordance with Section 60 of the Planning and Environment Act 1987, this report has assessed the proposal against the relevant provisions of the *West Wimmera Planning Scheme*. In doing so, particular regard has been given to the overarching objectives of planning in Victoria, including the objective to provide for the fair, orderly, economic, and sustainable use and development of land, and to balance the present and future interests of all Victorians.

The proposal has been evaluated against the Planning Policy Framework, the Municipal Planning Strategy, and the purpose of the Township Zone. It reflects a considered and site-responsive approach to development, supporting orderly planning outcomes in a location identified as suitable for growth.

Importantly, the proposal delivers a tangible community benefit through the provision of key worker housing - meeting a critical need identified in the *West Wimmera Small Towns Plan*, the *West Wimmera Economic Development Strategy*, and the *Wimmera Southern Mallee REDS*. By making use of surplus Council-owned land, the development facilitates immediate housing delivery while also enabling future staged development to continue addressing this need.

The proposal aligns with the decision guidelines of Clause 65.01, achieving an appropriate balance between strategic objectives, neighbourhood character, and practical housing delivery. On this basis, the proposal is considered to provide a clear net community benefit.

6. Conclusion

This report has outlined the proposed development of three dwellings and a six-lot subdivision at the Kaniva Aerodrome site, and assessed the application against the relevant policy and planning provisions of the West Wimmera Planning Scheme.

The subject site presents a clear opportunity for development, given its size, configuration, and proximity to existing infrastructure and services. The proposed lot layout and dwelling design are responsive to the site's context and reflect the surrounding neighbourhood character - particularly the subdivision pattern and frontage widths found along Paterson Street and the adjoining residential area.

Importantly, the proposal supports the delivery of key worker housing in Kaniva, addressing a critical local need and aligning with the strategic directions of both the *West Wimmera Economic Development Strategy* and the *Wimmera Southern Mallee Regional Economic Development Strategy (REDS)*. The proposed lot sizes and dwelling types have been deliberately designed to provide modest, accessible, and affordable housing outcomes in line with these strategies and the findings of the *West Wimmera Small Towns Plan*.

It is the conclusion of this report that the application is consistent with the purpose and intent of the applicable planning controls and policy framework. The proposal responds to current housing needs, complements the surrounding built form, and makes effective use of Council-owned land to support the township's long-term growth.

Accordingly, it is recommended that Council issue a planning permit for the proposal. We welcome the opportunity to work collaboratively with Council during the assessment process.

MPAA Studio

July 2025



APPENDICES

Appendix A	Certificate of Title
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Appendix B	Town Planning Drawings
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Appendix C	Clause 55 Assessment
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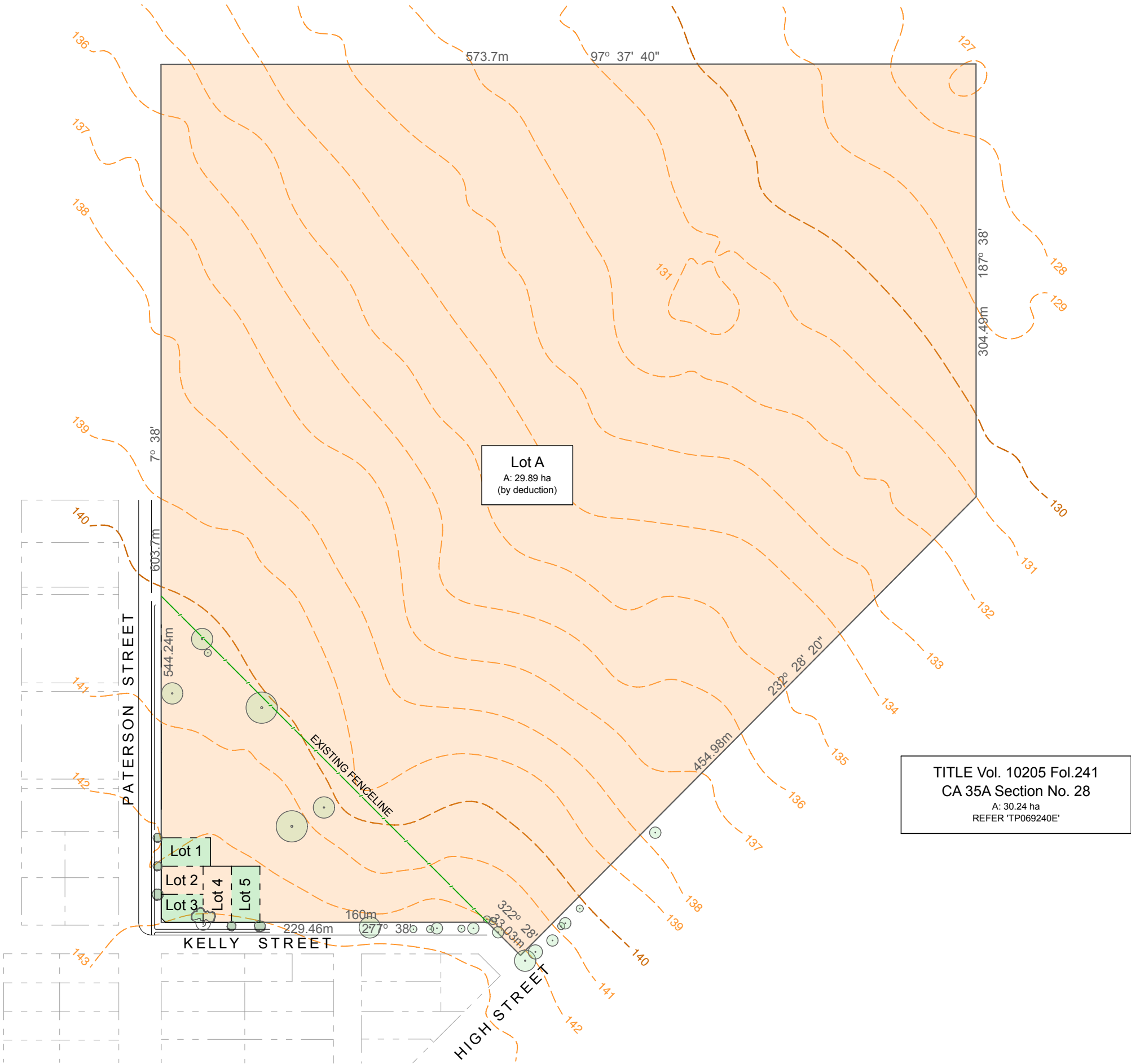
Appendix C	Clause 56 Assessment
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PLANNING & ENVIRONMENT ACT 1987
WEST WIMMERA SHIRE PLANNING SCHEME
The plan/application is endorsed for
NOTICE in respect of the below Permit.
Permit No: PA1192 Date: 15/08/2025
(West Wimmera Shire Council)

SITE LEGEND

- CONTOURS AT 1m INCREMENTS
- EXISTING FENCING
- EXISTING TREES - TO BE RETAINED
- PROPOSED TREES

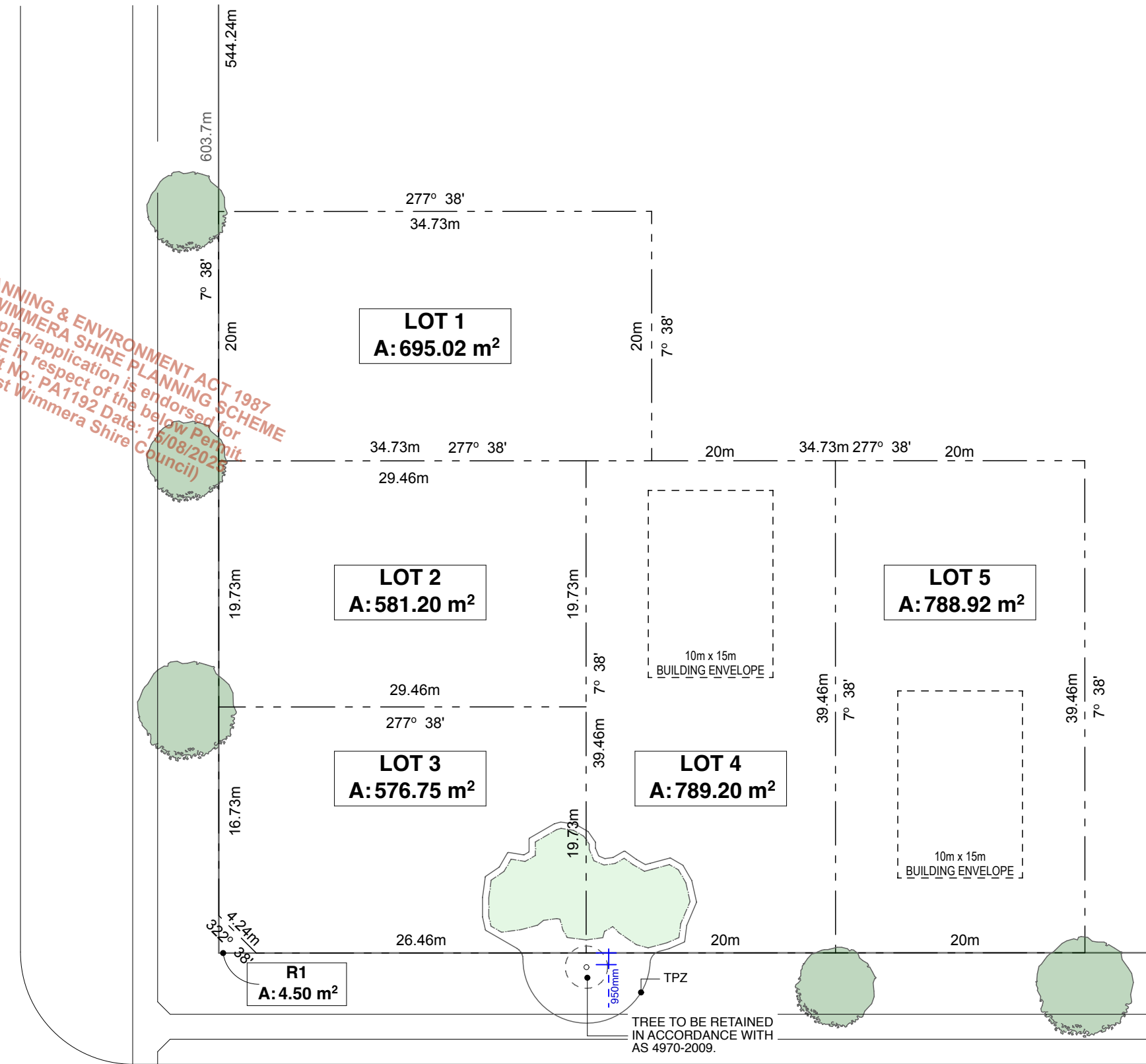
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WEST WIMMERA SHIRE PLANNING SCHEME
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(West Wimmera Shire Council)



1 SITE PLAN
SCALE 1:3000

PLANNING & ENVIRONMENT ACT 1987
WEST WIMMERA SHIRE PLANNING SCHEME
The plan/application is endorsed for
NOTICE in respect of the below Permit
Permit No: PA1192 Date: 16/08/2023
(West Wimmera Shire Council)

PATERSON STREET



Line Type Legend

- SRZ
- Crown
- TPZ

KELLY STREET



Co.Lab, Dispensary Lane
Warrnambool VIC 3280
admin@myersplanninggroup.com
Phone: (03) 5562 9443
ABN 53253414622

revision:	description:	date:

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project:	PROPOSED SUBDIVISION AT KELLY STREET KANIVA VIC. 3419
client:	
drawing title:	PLAN OF SUBDIVISION -ENLARGEMENT

north:		date:	JULY, 2025	drawn by:	JH
		scale:	1 : 500	project no.:	24-1444
		designed by:	SM	rev.:	/V2
				dwg no:	TP2 of TP3

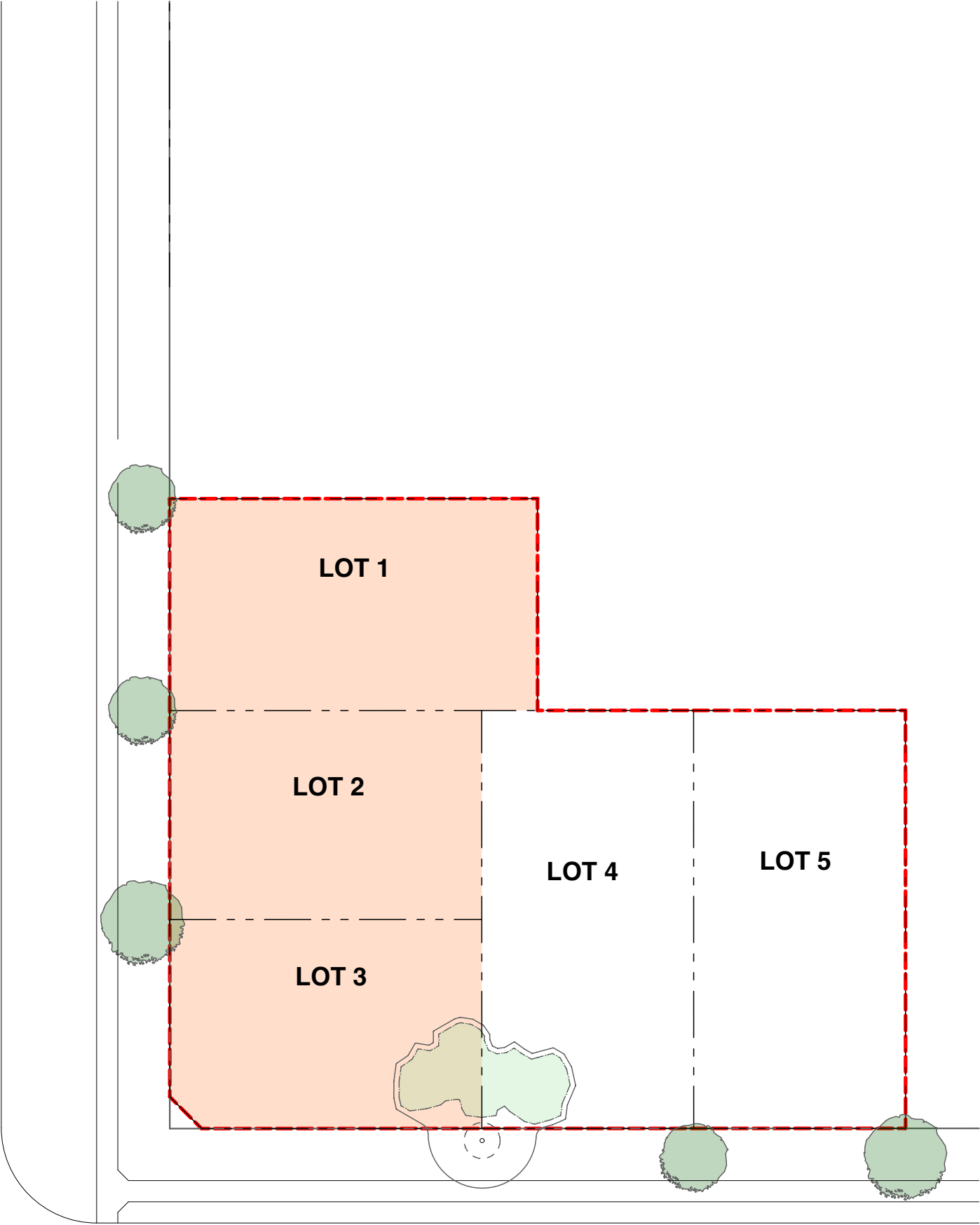
24-1444 PROPOSED SUBDIVISION AT KELLY STREET KANIVA_V2.pln

DWELLING LEGEND

- PROPOSED DWELLING SITES (Refer to separate plans)
- PROPOSED 5 LOTS

PLANNING & ENVIRONMENT ACT 1987
WEST WIMMERA SHIRE PLANNING SCHEME
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(West Wimmera Shire Council)

PATERSON STREET



KELLY STREET

<div><div></div><div>MPAA</div></div> <div>Co.Lab, Dispensary Lane Warrnambool VIC 3280 admin@myersplanninggroup.com Phone: (03) 5562 9443 ABN 53253414622</div>	revision: description: date:	project: PROPOSED SUBDIVISION AT KELLY STREET KANIVA VIC. 3419	<div>north:</div> <div><div></div></div>	date: JULY. 2025	drawn by: JH	
		client: <div></div>		scale: 1 : 500 A3	project no.: 24-1444	rev.: /V2
		drawing title: OVERALL SITE DEVELOPMENT PLAN		designed by: SM	dwg no: TP3 of TP3	

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Clause 56 Assessment

Requirement	Response
Clause 56.01-1 Subdivision site and context description	<p>Requirement / Performance Standard met</p> <p>The Site forms part of a larger parcel of land comprising the former Kaniva Aerodrome. The Site of the development is separately fenced from the larger parcel, and is vacant land not used for any purpose. Some scattered trees are located on the Site, but generally not near the Site of the proposed development, and no trees are to be removed as part of this proposal. A former weather station is also located on the Site, but not near the proposed development. In the north western corner of the Site is a small number of outbuildings and facilities used as the SSAA (Sporting Shooters Association of Australia) Victoria Nhill Shotgun Range. The Site of the proposed development is approximately 400 metres from the nearest range.</p> <p>The Site is generally flat, comprising an overall area of approximately 30 hectares in an irregular shape, and is bound by Kelly Street to the south, Paterson Street / Yearlinga Road to the west, and unnamed roads to the north and east.</p> <p>The site is relatively flat and falls to the northeast. Surrounding land is similarly generally flat. Surrounding buildings are used for dwellings.</p> <p>Given the orientation of the land and the roads surrounding the land, there is no identified secluded private open space and habitable room windows of surrounding properties which have an outlook to the site within 9 metres.</p> <p>Views to and from the site are from the surrounding road network and dwellings.</p> <p>Street frontage features include power lines and poles, street trees which include a mix of formal planting and regrowth / native vegetation, and kerb and footpath on the south side of Kelly Street but not the north.</p> <p>Rogerson Street playground is approximately 150 metres walk from the proposed dwelling sites.</p> <p>Shops are located along Commercial Street, approximately 1km south of the Site, which is approximately 13 minutes walk from the Site.</p> <p>Kaniva Train Station is approximately 850 metres or a 12 minute walk from the Site.</p> <p>The pattern of subdivision of the neighbourhood is based around a typical grid style subdivision evident in country towns. Lots are typically developed with single dwellings (continued overleaf).</p>

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Requirement	Response
	<p>The surrounding built form character is varied, reflecting the incremental development of Kaniva over time. While architectural styles, materials, and detailing differ, there is a consistent pattern of detached, single-storey dwellings with pitched roofs. Dwellings are typically set back from the street, with generous front setbacks allowing for garden areas or informal landscaping.</p> <p>Lot frontages are generally around 20 metres along Paterson Street and nearby areas, which the proposal reflects. The mix of fencing styles -ranging from open or unfenced frontages to low post-and-rail and Colorbond fences - adds to the informal, rural-residential feel of the area. This variety contributes to a low-density, spacious character that the proposed subdivision seeks to maintain through compatible lot widths and setbacks.</p> <p>While there is no single architectural style that dominates, the character of the neighbourhood is shaped more by its openness, street setbacks, and vegetation than by specific built form elements. The proposed development responds sensitively to this context by adopting a layout that supports modest, detached dwellings on lots consistent with the established rhythm and scale of surrounding development.</p>
<p>Clause 56.01-2</p> <p>Subdivision design response</p>	<p>Requirement / Performance Standard met</p> <p>The proposed subdivision integrates with the established pattern of subdivision to the south and west of the site, reinforcing the traditional grid-based layout that defines much of Kaniva’s residential areas. The subdivision layout respects and continues this form, ensuring new development aligns with the township’s spatial character.</p> <p>While the layout preserves the overall rhythm of the surrounding neighbourhood, it also introduces a variety of lot sizes to support a broader mix of housing opportunities. The proposed lots range in size from 576 square metres to over 800 square metres, consistent with smaller lots found within the immediate vicinity - particularly along Paterson Street.</p> <p>This reflects a contemporary approach to lot sizing that supports modest, accessible housing outcomes while maintaining compatibility with local character. Larger lots, including those exceeding 1,100 square metres, also exist nearby and contribute to the area’s diversity in lot sizes.</p>

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(West Wimmera Shire Council)

Requirement	Response
	<p>All lots will be connected to reticulated sewer and untreated water services, making them suitable for residential development at the proposed densities. The subdivision pattern also responds to the functional role of the site in managing town-wide stormwater flows, as outlined in the accompanying concept Stormwater Management Strategy. The layout ensures that overland flow paths can be maintained or redirected as needed through detailed design at the engineering stage.</p> <p>This Town Planning Report describes in detail how the proposal meets the objectives and standards of Clause 56, and demonstrates that the subdivision delivers a logical, connected, and appropriately serviced residential outcome for this part of Kaniva.</p> <p>This report describes how the proposal responds to Clause 56.</p>
<p>Clause 56.03-5 Neighbourhood character objective (C6)</p> <p>Subdivision should:</p> <ul style="list-style-type: none"> – Respect the existing neighbourhood character or achieve a preferred neighbourhood character consistent with any relevant neighbourhood character objective, policy or statement set out in this scheme. – Respond to and integrate with the surrounding urban environment. – Protect significant vegetation and site features. 	<p>Requirement / Performance Standard met</p> <p>The subdivision pattern is intended to integrate with the existing pattern of subdivision south and west of the site and does so by providing lots which can be developed in a way which will complement the surrounding pattern of development of single dwellings on lots.</p> <p>The subdivision seeks to protect the adjoining street tree by providing for its retention.</p>

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Requirement	Response
<p>Clause 56.04-1 Lot diversity and distribution (Standard C7)</p> <p>A subdivision should implement any relevant housing strategy, plan or policy for the area set out in this scheme.</p> <p>Lot sizes and mix should achieve the average net residential density specified in any zone or overlay that applies to the land or in any relevant policy for the area set out in this scheme.</p> <p>A range and mix of lot sizes should be provided including lots suitable for the development of:</p> <ul style="list-style-type: none"> – Single dwellings. – Two dwellings or more. – Higher density housing. – Residential buildings and Retirement villages. <p>Lot distribution should provide for 95 per cent of dwellings to be located no more than 400 metre street walking distance from the nearest existing or proposed bus stop, 600 metres from the nearest existing or proposed tram stop and 800 metres street walking distance from the nearest existing or proposed railway station.</p>	<p>Requirement / Performance Standard met / not applicable</p> <p>The subdivision provides for a diversity of lot configurations to support a range of housing outcomes over time. While this application proposes single detached dwellings, the subdivision layout has been designed to allow for flexibility in future housing typologies, including dual occupancies or other forms of modest infill development subject to future planning approvals. This approach supports housing diversity and reflects the intent of relevant strategic policies, including the <i>West Wimmera Small Towns Plan</i>, which encourages a mix of housing types to meet the needs of key workers, smaller households, and residents seeking more affordable options.</p> <p>Kaniva is a small rural township, and is only serviced by the V/Line Adelaide - Melbourne Coach. The lots are not located within 400 metres of the bus stop, and there are no tram or rail services. This is considered appropriate given the regional context.</p>

Requirement	Response
<p>Clause 56.04-2 Lot area and building envelopes (Standard C8)</p> <p>Lots of between 300 square metres and 500 square metres should contain a building envelope and be able to contain a rectangle measuring 10 metres by 15 metres, or 9 metres by 15 metres if a boundary wall is nominated as part of the building envelope.</p> <p>Lots greater than 500 square metres should be able to contain a rectangle measuring 10 metres by 15 metres, and may contain a building envelope.</p> <p>Lot dimensions and building envelopes should protect:</p> <ul style="list-style-type: none"> – Solar access for future dwellings and support the siting and design of dwellings that achieve the energy rating requirements of the Building Regulations. – Existing or proposed easements on lots. – Significant vegetation and site features. 	<p>Requirement / Performance Standard met</p> <p>Lots 1-3 are to be developed with dwellings and building envelopes are not required.</p> <p>Lots 4-5 are above 500 square metres and can contain the required rectangle, and are considered sufficiently sized to not require these to be placed on title.</p>
<p>Clause 56.04-3 Solar orientation of lots (Standard C9)</p> <p>Unless the site is constrained by topography or other site conditions, at least 70 percent of lots should have appropriate solar orientation.</p> <p>Lots have appropriate solar orientation when:</p> <ul style="list-style-type: none"> – The long axis of lots are within the range north 20 degrees west to north 30 degrees east, or east 20 degrees north to east 30 degrees south. – Dimensions of lots are adequate to protect solar access to the lot, taking into account likely dwelling size and the relationship of each lot to the street. 	<p>Requirement / Performance Standard met</p> <p>Lots are appropriately orientated for solar access.</p>

Requirement	Response
<p>Clause 56.04-4 Street orientation (Standard C10)</p> <p>Subdivision should increase visibility and surveillance by:</p> <ul style="list-style-type: none"> Ensuring lots front all roads and streets and avoid the side or rear of lots being oriented to connector streets and arterial roads. Ensuring streets and houses look onto public open space and avoiding sides and rears of lots along public open space boundaries. Providing roads and streets along public open space boundaries. 	<p>Requirement / Performance Standard met</p> <p>All lots have frontage to existing roads.</p>
<p>Clause 56.04-5 Common area (Standard C11)</p> <p>An application to subdivide land that creates common land must be accompanied by a plan and a report in accordance with the criteria within the Standard.</p>	<p>Requirement / Performance Standard not applicable</p>
<p>Clause 56.05-1 Integrated urban landscape (Standard C12)</p> <p>An application for subdivision that creates streets or public open space should be accompanied by a landscape design, as outlined within the Standard.</p>	<p>Requirement / Performance Standard not applicable</p>
<p>Clause 56.06-2 Walking and cycling network (Standard C15)</p> <p>The walking and cycling network should be designed in accordance with the Standard to provide safe and direct movement through and between neighbourhoods by pedestrians and cyclists.</p>	<p>Requirement / Performance Standard not applicable</p>
<p>Clause 56.06-4 Neighbourhood street network (Standard C17)</p> <p>The neighbourhood street network must account for the existing mobility network and provide safe and efficient access in accordance with the Standard.</p>	<p>Requirement / Performance Standard not applicable</p>

Requirement	Response
<p>Clause 56.06-5 Walking and cycling network detail (Standard C18)</p> <p>Footpaths, shared paths, cycle paths and cycle lanes should be designed in accordance with the criteria outlined within the Standard.</p>	<p>Requirement / Performance Standard not applicable</p>
<p>Clause 56.06-7 Neighbourhood street network detail (Standard C20)</p> <p>The design of streets and roads should be designed in accordance with the criteria outlined within the Standard.</p>	<p>Requirement / Performance Standard not applicable</p>
<p>Clause 56.06-8 Lot access (Standard C21)</p> <p>Vehicle access to lots abutting arterial roads should be provided from service roads, side or rear access lanes, access places or access streets where appropriate and in accordance with the access management requirements of the relevant roads authority.</p> <p>The design and construction of a crossover should meet the requirements of the relevant road authority.</p>	<p>Requirement / Performance Standard met</p> <p>Vehicle access will be created for all lots. Proposed access / crossovers will be constructed in accordance with Council requirements.</p>
<p>Clause 56.07-1 Drinking water supply (Standard C22)</p> <p>The supply of drinking water must be designed and constructed in accordance with relevant water authority requirements, provided to the boundary of all lots within the subdivision.</p>	<p>Requirement / Performance Standard met</p> <p>Reticulated drinking water is not currently available, but is in the process of upgrade to provide supply. Water tanks will be used as an interim measure ahead of reticulated drinking water being provided.</p>
<p>Clause 56.07-2 Reused and recycled water (Standard C23)</p> <p>Reused and recycled water supply systems must be design and constructed in accordance with the Environment Protection Authority and Department of Health and Human Services, and provided to the boundary of all lots within the subdivision by the relevant water authority.</p>	<p>Requirement / Performance Standard not applicable</p> <p>The use of recycled water is not proposed as part of this development.</p>

Requirement	Response
<p>Clause 56.07-3 Waste water management (Standard C24)</p> <p>Waste water systems must be designed, constructed and managed in accordance with the relevant water authority and Environment Protection Authority, and be consistent with any relevant approved domestic waste water management plan.</p>	<p>Requirement / Performance Standard met</p> <p>All lots will be connected to the existing reticulated wastewater system, as per requirements of GWM Water.</p>
<p>Clause 56.07-4 Stormwater management (Standard C25)</p> <p>The urban stormwater management system must be designed and managed in accordance with the requirements of the relevant drainage authority, water authority and best practice guidelines, and should be integrated with street and public open space networks and landscape design.</p>	<p>Requirement / Performance Standard met</p> <p>Site drainage will be consistent with the requirements of Council and best practice guidelines.</p>
<p>Clause 56.08-1 Site management (Standard C26)</p> <p>Description of site management prior to and during the construction period, including erosion and sediment, dust, run-off, little, concrete and other construction wastes, chemical contamination, and vegetation and natural features planned for retention.</p>	<p>Requirement / Performance Standard met</p> <p>Appropriate measures will be undertaken during relevant construction works, including any trenches required, to ensure protection from degradation, sedimentation and contamination.</p>
<p>Clause 56.09-1 Shared trenching (Standard C27)</p> <p>Reticulated services for water, gas, electricity and telecommunications should be provided in shared trenching to minimise construction costs and land allocation for underground services.</p>	<p>Requirement / Performance Standard met</p> <p>Shared trenching will be utilised throughout the proposed subdivision where possible.</p>

Requirement	Response
<p>Clause 56.09-2 Electricity and telecommunications (Standard C28)</p> <p>The electricity supply system must be designed in accordance with the requirements of the relevant electricity supply agency and be provided to the boundary of all lots in the subdivision to the satisfaction of the relevant electricity authority.</p> <p>Arrangements that support the generation or use of renewable energy at a lot or neighbourhood level are encouraged.</p> <p>The telecommunications system must be designed in accordance with the requirements of the relevant telecommunications servicing agency and should be consistent with any approved strategy, policy or plan for the provision of advanced telecommunications infrastructure, including fibre optic technology. The telecommunications system must be provided to the boundary of all lots in the subdivision to the satisfaction of the relevant telecommunications servicing authority.</p>	<p>Requirement / Performance Standard met</p> <p>The lots will be connected to electricity and telecommunications in accordance with the requirements of the relevant servicing authorities.</p> <p>Solar panels are provided on the proposed dwellings to enhance renewable energy generation.</p>
<p>Clause 56.09-3 Fire hydrants (Standard C29)</p> <p>Fire hydrants should be provided a maximum distance of 120 metres from the rear of each lot and no more than 200 metres apart.</p>	<p>Requirement / Performance Standard met</p> <p>Fire hydrants will be provided accordance with the requirements of the relevant authority.</p>
<p>Clause 56.09-4 Public lighting (Standard C30)</p> <p>Public lighting should be designed in accordance with the relevant Australian Standards, and provided to streets, footpaths, public telephones, public transport stops and to major pedestrian and cycle paths, including public open spaces that are likely to be well used.</p>	<p>Requirement / Performance Standard met</p> <p>Appropriate levels of lighting will be provided to the satisfaction of the responsible authority.</p>

Stormwater Management Plan

Kelly Street, Kaniva

May 2025

Loetis Pty Ltd
Version: Rev01



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(West Wimmera Shire Council)

Westech Ag
Kyle Livestock

Broughton Rd

Madden St N

Farmers St

Yearlinga Rd

Contact Information

Loetis Pty Ltd
ABN 74 665 148 630

PO Box 867
Geelong, Vic 3220

Email: info@Loetis.com.au
Web: www.Loetis.com.au

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Prepared For	MPAA Studio
Report Title	Stormwater Management Plan
Subject Site	Kelly Street, Kaniva
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Author	Leigh Prossor
Approved By	Tom Rix

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1 Background

1.1 Introduction

Loetis has been engaged by MPAA Studio to prepare a Stormwater Management Plan (SMP) to accompany funding application(s) and support a proposed planning permit application for a residential subdivision development located at Kelly Road, Kaniva. This property will be herein referred to as the 'subject site'.

The development proposal includes the subdivision of approximately 5 lots.

Kaniva is a town located some 410km northwest of Melbourne in the Shire of West Wimmera (Council) and some 25km east of the South Australian Border. The subject site is located approximately 750m north of the main commercial street of Kaniva and is currently zoned as Township Zone under the Victorian Planning Provisions.

The subject site has a total area of approximately 0.3 Ha, noting that this is located within a larger existing 'parent title' of some 30 Ha in size. The site slopes in a northeasterly direction. The site is bound by Kelly St along the southern boundary and Peterson Street (Yearlinga Road) along the western boundary. The northern and eastern extents abut the larger residual portion of the parent title. The subject site is indicated in the figure below.

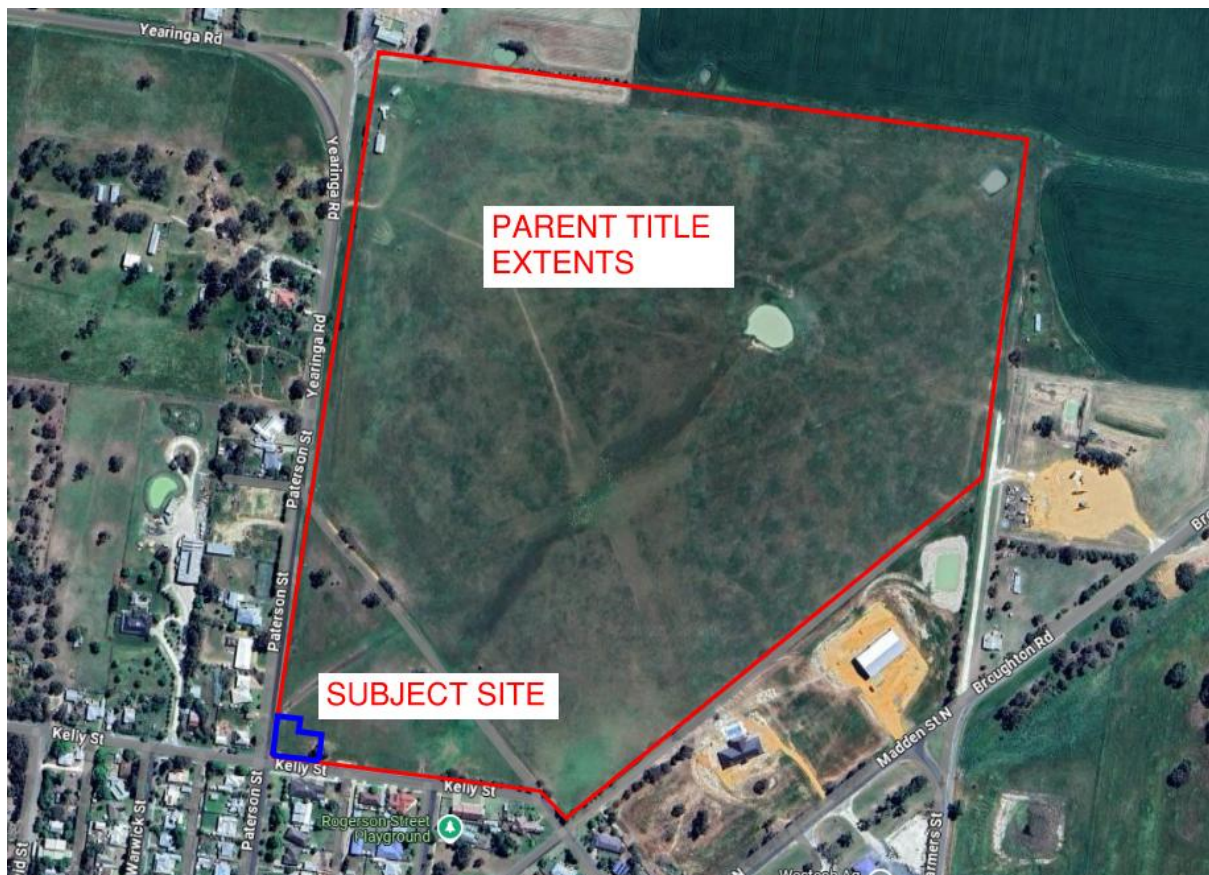


Figure 1 - Site Location and Existing Context

This report has been prepared in general accordance with the requirements outlined in the Infrastructure Design Manual, which whilst not formally adopted by the West Wimmera Shire Council, is considered in the absence of any adopted standards as representative of best practise for proposed developments within regional Victoria. This report is considered to meet all objectives required by these documents and is considered to meet relevant requirements.

2 Study Objectives

The objective of this Stormwater Management Strategy is to demonstrate a proposal for stormwater management to be undertaken as a part of the development which accord to local authority and best practice guidelines for stormwater quality and stormwater quantity treatment. This will enable the development to meet conditions set in any future planning permit conditions related to stormwater management and ensure that stormwater quality and quantity targets are achieved and maintained.

Stormwater runoff generated within the site will be captured and conveyed via a combination of the underground drainage network and overland flow paths to the integrated stormwater treatment nodes prior to discharge to the site Legal Point of Discharge (LPOD).

At this time, no discussions have been held with the West Wimmera Shire on drainage requirements, however the report has been prepared on the basis of typical best practice and planning scheme requirements. Specific objectives are detailed below.

2.1 Site Stormwater Objectives

The site stormwater objectives are:

1. Best Practice reductions for Water Quality

- 80% reduction in Suspended solids (SS)
- 45% reduction in total nitrogen (TN)
- 45% reduction in total phosphorus (TP)
- 70% reduction in gross pollutants (GP)

It is noted that this is considered as satisfied if MUSIC modelling or STORM output demonstrates that the target requirements are satisfied.

2. Stormwater Conveyance

- Conveyance of flows up to and including the 1% AEP flows to the Legal Point of Discharge (LPOD).

3. Stormwater Quantity

- Ensuring no increase in stormwater rates discharging from the Legal Point of Discharge (LPOD) for events up to and including the 1% AEP flows.

The following stormwater management strategy will provide details on the stormwater treatment nodes and associated infrastructure requirements for the mitigation of runoff from the development to ensure stormwater discharge targets are achieved at the designated LPOD.

3 Catchment Assessment

3.1 Existing Site Conditions

The site currently occupied largely open paddock(s) with some isolated small clumps of trees.

Kelly Street is sealed across the site frontage, with kerb and channel on the opposite (south) side of the road. Paterson Street is also sealed, however only has shallow swale drains adjacent to the road.

No site inspection was undertaken as part of the initial phase of this assessment, nor is detailed feature survey available at the time of writing the report. Further, no BYDA information on the Council drainage infrastructure is available.

Based on the street view and aerial images, it appears to be some limited underground drainage infrastructure in the adjacent streets that discharges into the subject site and are then conveyed in a north-easterly direction.

The below image (figure 2) details the approximate location of the underground network shown in red, with the overland flow paths through the site shown in yellow.



Figure 2 – Existing Drainage flowpaths

The extent of these external catchments will need additional investigation and information to ascertain their extent and accordingly the flow rates that they will generate. Indicative assessment based on high level contour information indicates that these external catchments are in the order of 3-5 Ha in size. Conveyance of flows from these external catchments through the site will need to be allowed for within the proposed development, noting that the flow paths are either clear or possibly immediately adjacent to the proposed development area.

An existing site layout plan is provided in Appendix A.

A summary of catchment parameters is provided in Table 1.

Table 1 – Existing Site Catchment Parameters

Catchment	Total (Ha)	Impervious area (m ²)	Pervious area (m ²)	Impervious area (%)	Pervious area (%)
Subject Site	0.29	0	2,900	0	100

It is noted that the various mapping indicates that the parent property has an airstrip located well clear of the proposed development site. This airstrip is located to the north of the subject site and straddles the existing overland flow path from the site.

3.1.1 Existing Site Discharge Conditions

The site currently discharges via overland flow to the northeast. The below image in figure 9 depicts the flowpath to the north east, noting that this image is located to the east of the proposed development area.



Figure 3 – Existing Conditions onsite looking north east. (Picture courtesy of Google Maps.)

It is noted that there are some limited depressions indicated on available surface contours and images, noting that the channelisation along these flow paths in current conditions is considered to be limited.

A site visit is considered to be required as part of any further drainage assessments to validate these assumptions.

3.2 Developed Site Conditions

The development proposal includes the subdivision of some 5 lots, along with the construction of utility services.

The development proposes to treat site runoff via treatment in overland vegetated swales within the parent property.

It is assumed that the development will be undertaken using the existing roads and drainage networks, generally in line with the existing conditions to the south of the site. Subject to stakeholder assessment, alternate strategies including adoption of open swales in the road reserves are considered a valid approach.

Noting these comments, it is proposed that the collective site stormwater network for the subject site will be directed to overland drainage system to convey the stormwater flows to the northeast within the parent property. Consideration of installing low flow pipes in the rear of the lots (easement drains) should be given to allow for potential future subdivision to the north of the currently proposed development.

A concept schematic layout of the proposed drainage arrangements is provided in Figure 4 below and in Appendix C.

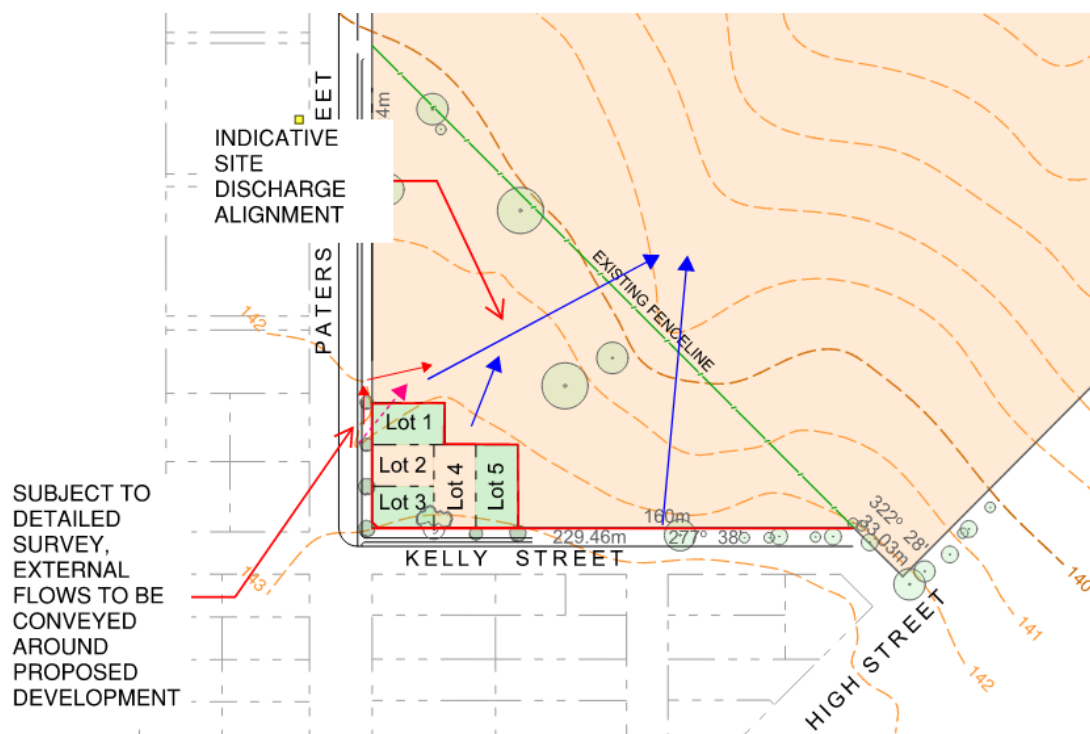


Figure 4 – Proposed Developed Site Conditions

A summary of the resultant developed catchment parameters is provided in Table 2 below.

Table 2 – Developed Site Catchment Parameters

Catchment	Total (m ²)	Impervious area (m ²)	Pervious area (m ²)	Impervious area (%)	Pervious area (%)
Subject Site	2,900	2,030	870	70	30

The estimated impervious %'s have been adopted from table 10 from the IDM based on the proposed typical lots sizes of 600 – 800m².

It is noted that the site geology is understood to be of a sandy nature. Consideration with the project team and stakeholders could also be given to a proposed approach of utilising infiltration for some of the treatment and detention requirements.

The airstrip is proposed to be retained, consideration to the impacts from stormwater runoff from the proposed development on the airstrip should be given. However noting this and the minimal area of proposed development, it is considered unlikely that the development will have detrimental impact to the airstrip. This should be assessed in more detail in the detail design phase of the proposed development and with additional feature survey.

3.2.1 Developed Site Discharge Conditions

The site discharge is proposed to be directed as is currently the case to the northeast via overland flows. Pending detailed design inputs, it is anticipated that there may need to be a short section of swale drain constructed to enable the flows to 'daylight' to the existing service levels.

It is noted that there appears to be an existing underground drain discharging into the site in the approximate location of the proposed Lot 1. It is unclear if this is sufficiently clear of Lot 1, or if it conflicts with Lot 1. Should there be insufficient clearance to Lot 1, consideration in the detail design phase will need to be given to re-route or extend the existing pipe and open drain network to ensure that the drainage flow path is clear of Lot 1.

4 Stormwater Detention Design

To ensure the development does not adversely affect surrounding properties and in line with typical authority standard (including the IDM) it is proposed to limit flows leaving the development to pre-development flowrates. However, it is noted that given the surrounding land uses and the downstream flow path sitting within Councils ownership, there may be a desire to explore an approach of minimised or 'non detention'. Loetis would be happy to discuss and explore this approach further with the relevant stakeholders.

Noting the above, in the absence of such discussion it is proposed that flows be detained to the sites pre-developed flowrate produced in the 1% AEP event as determined using the rational method. The volume of storage required to ensure flows discharging from the development are maintained to the nominated pre-developed rates has been undertaken using the Boyds Method.

Based on the preliminary assessment of the 0.29 Ha site and 5 lots, a storage volume in the order of 6m³ per lot will likely be required to achieve the detention requirements. However, it is noted that this estimate is based on a single 'tank' storage and ignores the impact of the un-detained areas (e.g. driveways). It is considered that these should be assessed and a calculated in detail in the detail design phase of the development.

A copy of the calculation is detailed in Appendix D.

5 Stormwater Quality

5.1 Stormwater Quality Modelling

Stormwater quality modelling was undertaken using the Melbourne Water STORM calculator for the development site to ensure the proposed development can achieve the current best practise performance objectives for stormwater quality as contained in the Urban Stormwater – Best Practise Environmental Management Guidelines (Victorian Stormwater Committee, 1999).

Water quality treatment is proposed to be achieved through the implementation of stormwater treatment train approach consisting of the following.

- Proposed rainwater tanks for reuse of rainwater falling onto the roof's of the dwellings.
- Infiltration of the water into the surrounding soil from water falling on driveways and paths.

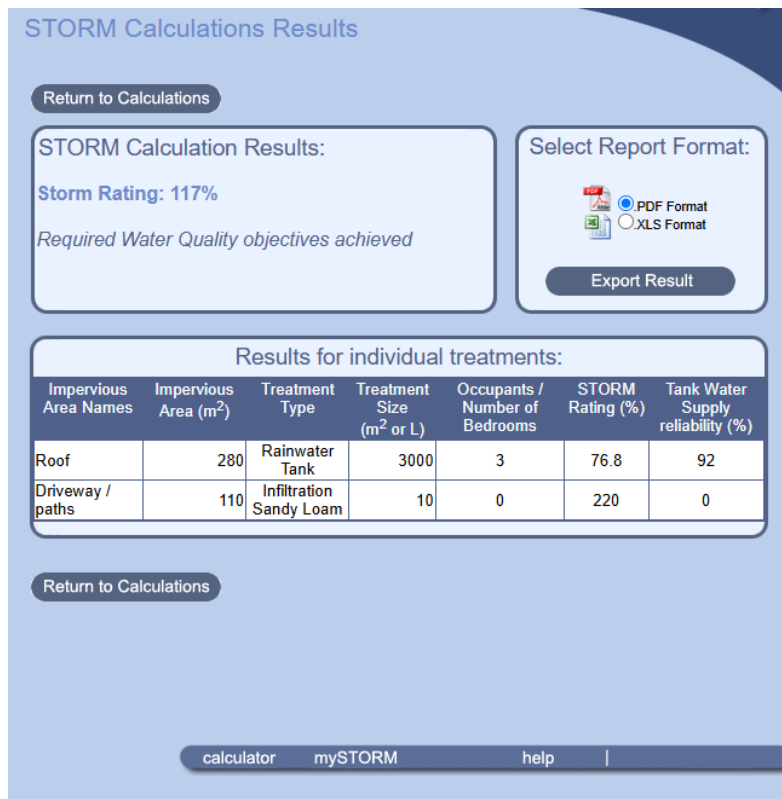


Figure 5 – STORM Results output

6 Conclusion & Recommendations

The site stormwater objectives for the proposed development of Kelly Street, Kaniva can achieve stormwater quality pollutant removal targets and stormwater quantity mitigation by adopting a stormwater treatment train strategy as follows:

- All surface water to be conveyed by combination of minor drainage in underground pipes and swales offsite.
- Consideration of detention requirements to be given in conjunction with the relevant authority. If required, detention via onsite storage within rainwater tanks proposed.
- Proposed water quality treatment utilising rainwater tanks and infiltration of driveways and paths.

The existing LPOD for the site to the northwest onto the parent property will be retained in the developed case.

Consideration in conjunction with stakeholder input on alternate drainage strategies for the site.

Consideration in the detail design phase to conveyance of external catchment flows through the site and to impacts downstream on the Kaniva Airstrip (if retained).

6.1 Delivery Mechanism

It is suggested that the above recommendations should be adopted and that the future planning permit include conditional requirement for delivery of stormwater infrastructure in accordance with this Stormwater Management Strategy. It is considered that Detailed design specifications will be subject to Engineering approval prior to works commencing.

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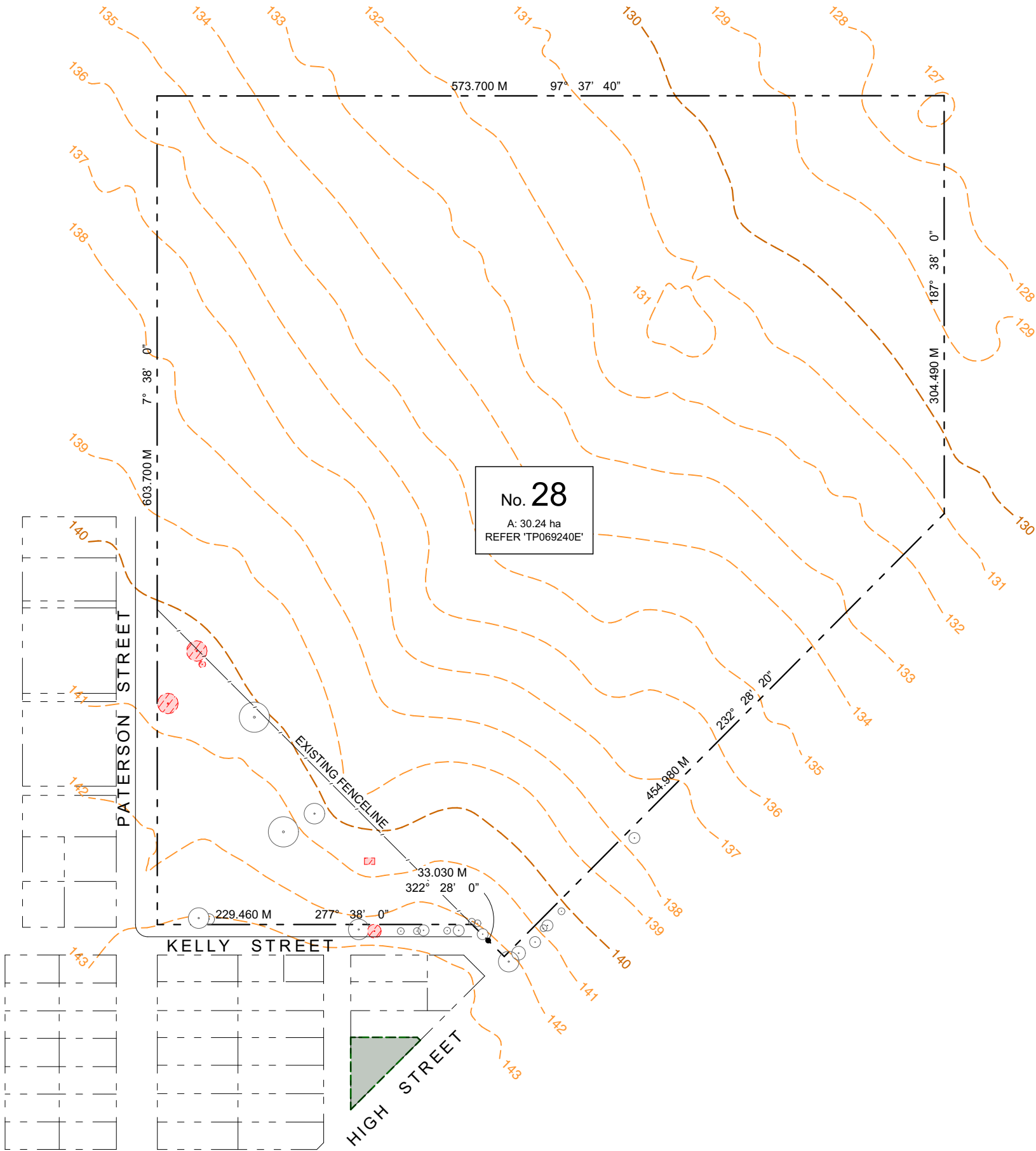


Appendix A – Existing Conditions Plan


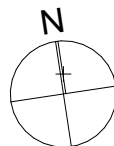
SITE LEGEND

- MAJOR SITE CONTOURS AT 1000mm INCREMENTS
- MINOR SITE CONTOURS AT 100mm INCREMENTS
- EXISTING TREES TO BE RETAINED
- EXISTING TREES TO BE REMOVED
- EXISTING PLAYGROUND
- EXISTING BUREAU OF METEOROLOGY WEATHER STATION TO BE REMOVED

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1 SITE PLAN
SCALE 1:3500

 <div>Myers Planning & Associates</div>	Co.Lab, Dispensary Lane Warrnambool VIC 3280 admin@myersplanninggroup.com Phone: (03) 5562 9443 ABN 53253414622	revision: description: date:		project: PROPOSED RESIDENTIAL SUBDIVISION AT KELLY STREET KANIVA VIC. 3419		<div>north:</div> 	date: AUG. 2024		drawn by: HE		
				client: [REDACTED]			scale: AS SHOWN A3		project no.: rev.: 24-1374 /		
				drawing title: EXISTING CONDITIONS			designed by: -		dwg no: TP1 of TP4		

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24-1374 PROPOSED RES

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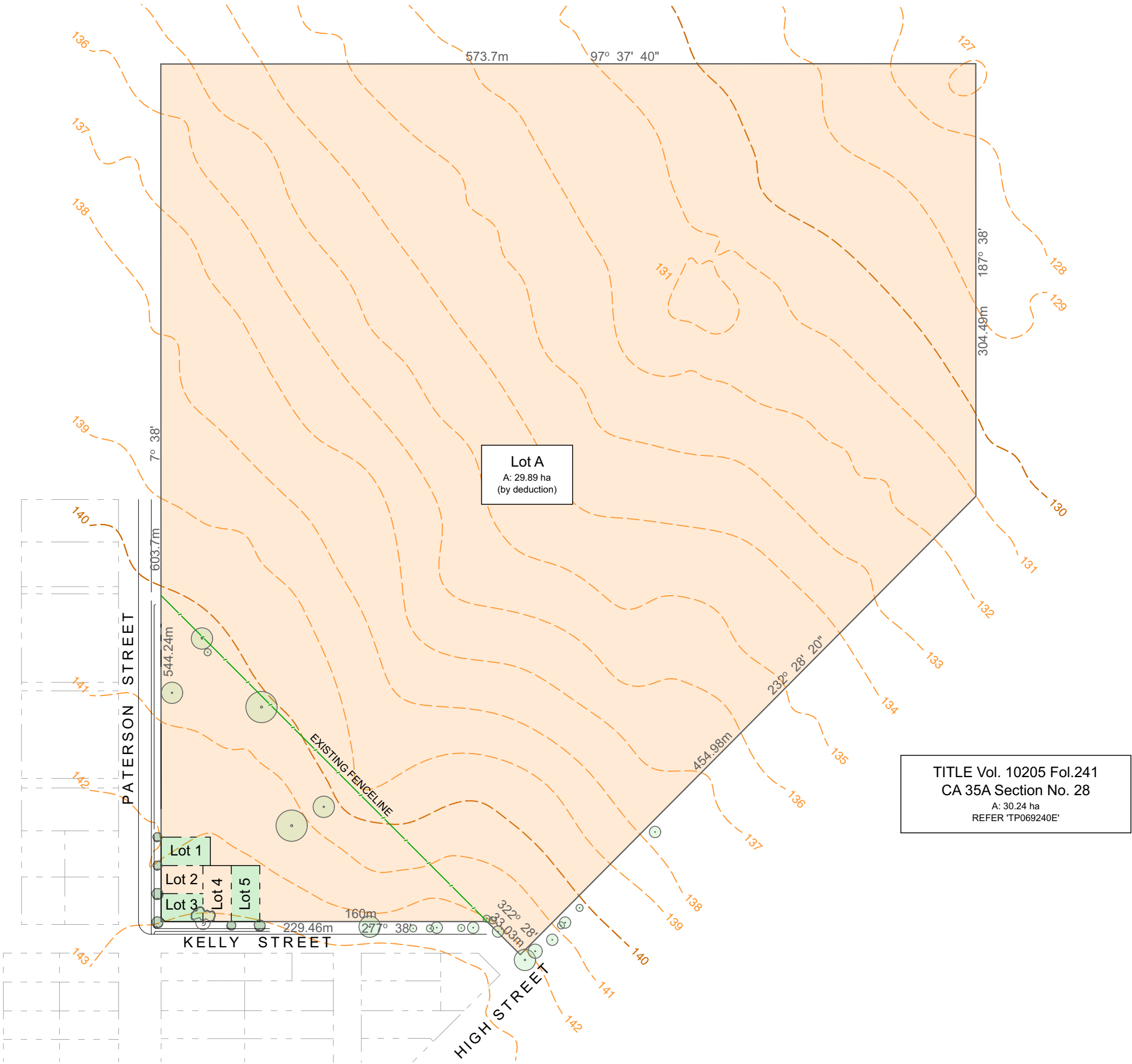


Appendix B – Concept Developed Layout Plan

SITE LEGEND

- CONTOURS AT 1m INCREMENTS
- EXISTING FENCING
- EXISTING TREES - TO BE RETAINED
- PROPOSED TREES

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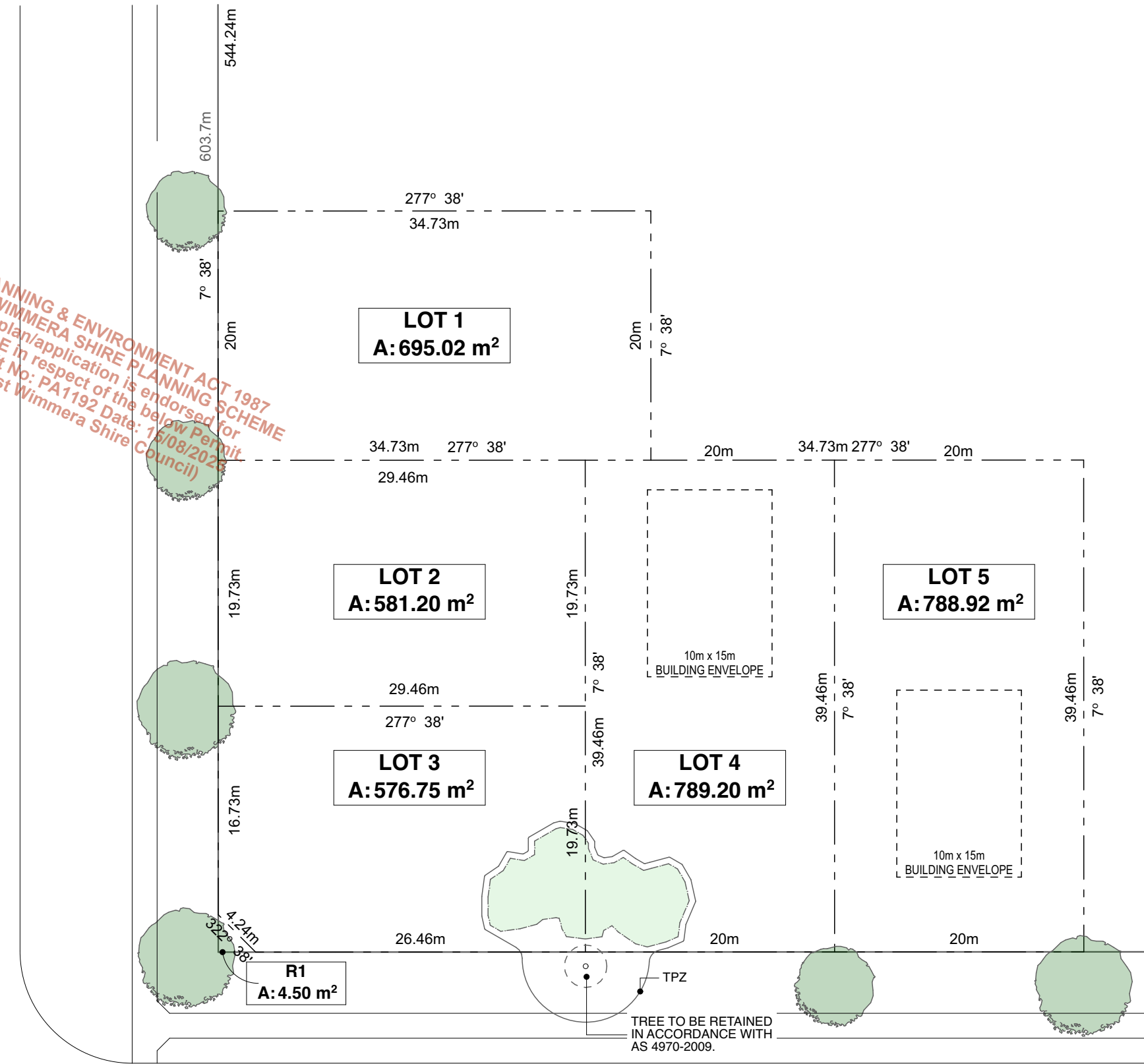


1 SITE PLAN
SCALE 1:3000

<div><div></div><div>MPAA</div></div> <div>Co.Lab, Dispensary Lane Warrnambool VIC 3280 admin@myersplanninggroup.com Phone: (03) 5562 9443 ABN 53253414622</div>	revision: description: date:	project: PROPOSED SUBDIVISION AT KELLY STREET KANIVA VIC. 3419	<div>north:</div> <div></div>	date: JAN. 2025	drawn by: JH	
		client: [REDACTED]		scale: AS SHOWN A3	project no.: 24-1444	rev.: /
		drawing title: PROPOSED PLAN OF SUBDIVISION		designed by: SM	dwg no: TP1 of TP3	

PATERSON STREET

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Line Type Legend

- SRZ
- Crown
- TPZ

KELLY STREET

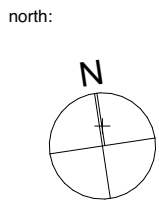


Co.Lab, Dispensary Lane
Warrnambool VIC 3280
admin@myersplanninggroup.com
Phone: (03) 5562 9443
ABN 53253414622

revision:	description:	date:

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project:	PROPOSED SUBDIVISION AT KELLY STREET KANIVA VIC. 3419
client:	
drawing title:	PLAN OF SUBDIVISION -ENLARGEMENT



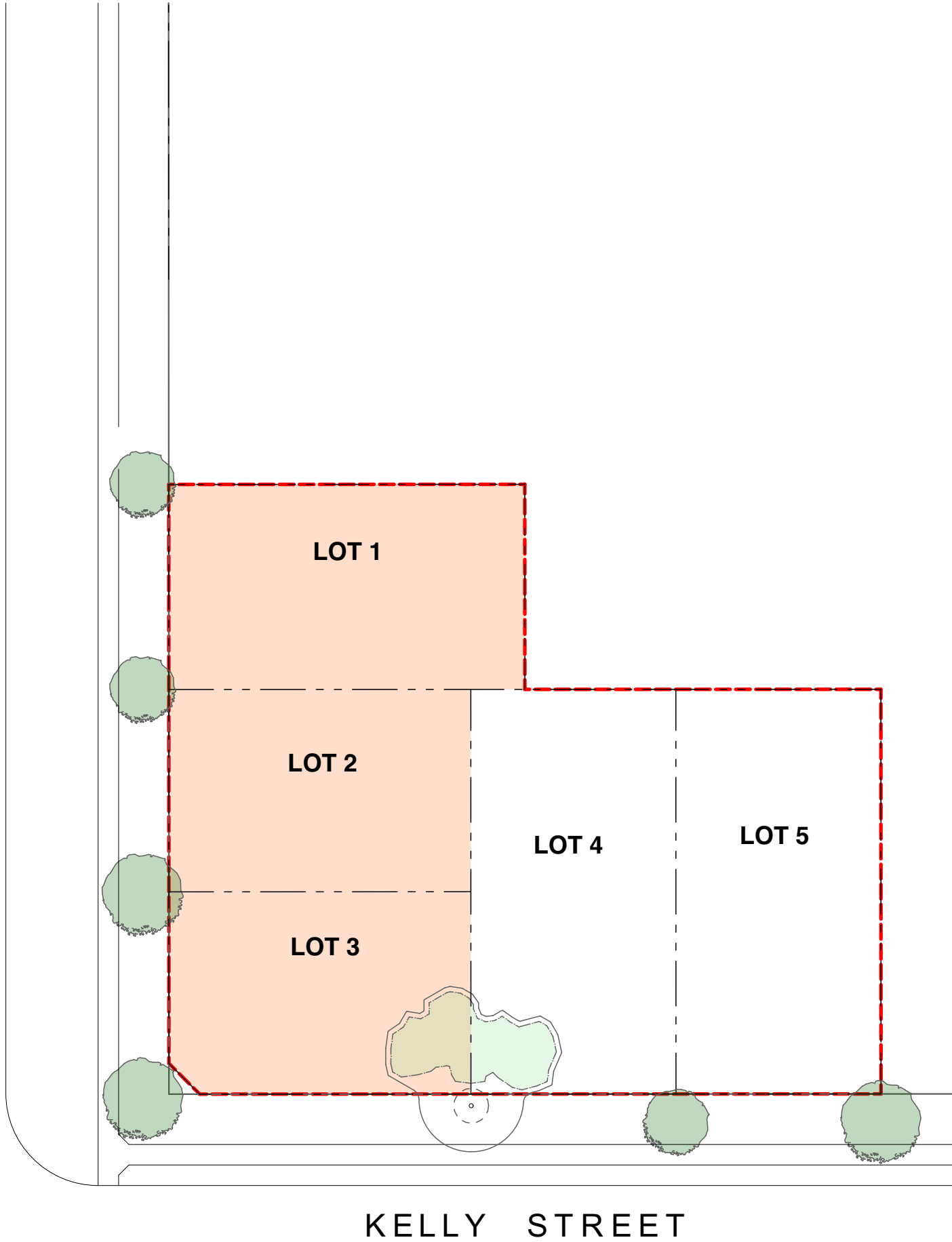
date:	JAN. 2025	drawn by:	JH
scale:	1 : 500	project no.:	24-1444
designed by:	SM	rev.:	/
		dwg no:	TP2 of TP3

DWELLING LEGEND


- PROPOSED DWELLING SITES (Refer to separate plans)
- PROPOSED 5 LOTS

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Permit No: PA1192 Date: 15/08/2025
(West Wimmera Shire Council)

PATERSON STREET



KELLY STREET

<div><div><div></div><div></div></div><div>MPAA</div></div> <div>Co.Lab, Dispensary Lane Warrnambool VIC 3280 admin@myersplanninggroup.com Phone: (03) 5562 9443 ABN 53253414622</div>	revision: description: date:		project: PROPOSED SUBDIVISION AT KELLY STREET KANIVA VIC. 3419		<div>north:</div> <div></div>	date: JAN. 2025	drawn by: JH		
			client: <div></div>			scale: 1 : 500 A3	project no.: 24-1444	rev.: /	
			drawing title: OVERALL SITE DEVELOPMENT PLAN			designed by:	dwg no:	TP3 of TP3	
						SM			
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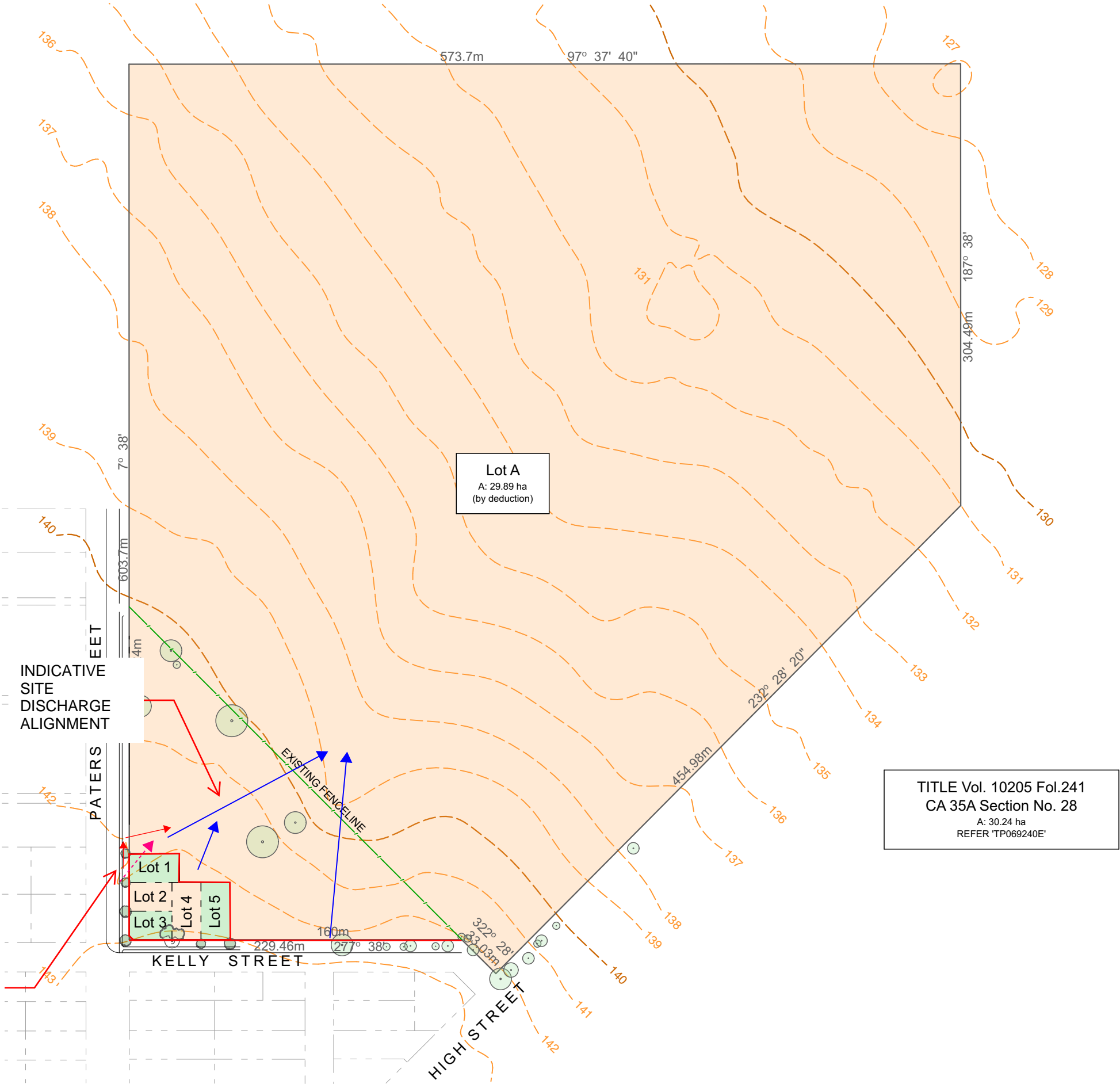
Appendix C – Concept Stormwater Schematic Layout Plan

SITE LEGEND


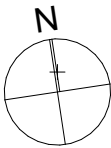
- CONTOURS AT 1m INCREMENTS
- EXISTING FENCING
- EXISTING TREES - TO BE RETAINED
- PROPOSED TREES

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SUBJECT TO
DETAILED
SURVEY,
EXTERNAL
FLOWS TO BE
CONVEYED
AROUND
PROPOSED
DEVELOPMENT



1 SITE PLAN
SCALE 1:3000

 <div>Co.Lab, Dispensary Lane Warrnambool VIC 3280 admin@myersplanninggroup.com Phone: (03) 5562 9443 ABN 53253414622</div>	revision: description: date:	project: PROPOSED SUBDIVISION AT KELLY STREET KANIVA VIC. 3419	<div>north:</div> 	date: JAN. 2025	drawn by: JH	
		client: <div></div>		scale: AS SHOWN A3	project no.: 24-1444	rev.: /
		drawing title: PROPOSED PLAN OF SUBDIVISION		designed by: SM	dwg no: TP1 of TP3	

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24-1444 PROPOSED SUBDIVISION AT KELLY STREET KANIVA_V1.pln

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Appendix D – Stormwater Detention Computations

BOYDS FORMULA

To be input by user
Calculated by spreadsheet



Project:	Kelly Road, Kaniva
Job No.:	J10242
Designer:	LP
Date:	May-25

Pre-Developed Inputs

Catchment Area (A) =
AEP
Runoff Coefficient
AEP Effective Catchment Area = $\sum CA$ =
Time of Concentration
Depth of Flow
Intensity of Flow
Restricted outflow requirement =

0.058	ha	(Note - Split 5 ways)
1	%	
0.30		IDM 16.7 Runoff Coefficients - Table 10
0.02	ha	
10	mins	
21.37	mm	
128.21	mm/hr	
0.01	m ³ /s	

Developed Inputs

Catchment Area (A) =
AEP
Runoff Coefficient
AEP Effective Catchment Area = $\sum CA$ =
Method of Storage

0.058	ha	
1	%	
0.70		IDM 16.7 Runoff Coefficients - Table 10
0.04	ha	
Tank		

* All methods of storage have restrictions on them in accordance with IDM section 19.3.2.

Storage requirement is highest value of S_{max} calculated in the table below
Critical storm duration is the storm duration when S_{max} occurs

Continue table until a clear S_{max} is calculated

Storm Duration	Annual Exceedance Probability (AEP) Depth (mm)	Annual Exceedance Probability (AEP) Intensity (mm/hr)	I_p (m ³ /s)	Q_p (m ³ /s)	V_1 (m ³)	S_{max} (m ³)
5	14.24	170.87	0.019	0.005	5.78	4.39
10	21.37	128.21	0.014	0.005	8.68	5.89
15	25.91	103.65	0.012	0.005	10.52	6.34
20	29.21	87.64	0.010	0.005	11.86	6.28
25	31.81	76.35	0.009	0.005	12.92	5.94
30	33.97	67.94	0.008	0.005	13.79	5.43
45	38.94	51.92	0.006	0.005	15.81	3.26
60	42.71	42.71	0.005	0.005	17.34	0.61
90	48.56	32.37	0.004	0.005	19.72	-5.38
120	53.25	26.63	0.003	0.005	21.62	-11.84
150	57.27	22.91	0.003	0.005	23.25	-18.58
180	60.84	20.28	0.002	0.005	24.70	-25.49
210	64.08	18.31	0.002	0.005	26.02	-32.55
240	67.05	16.76	0.002	0.005	27.22	-39.71
						6.34

Storage Required

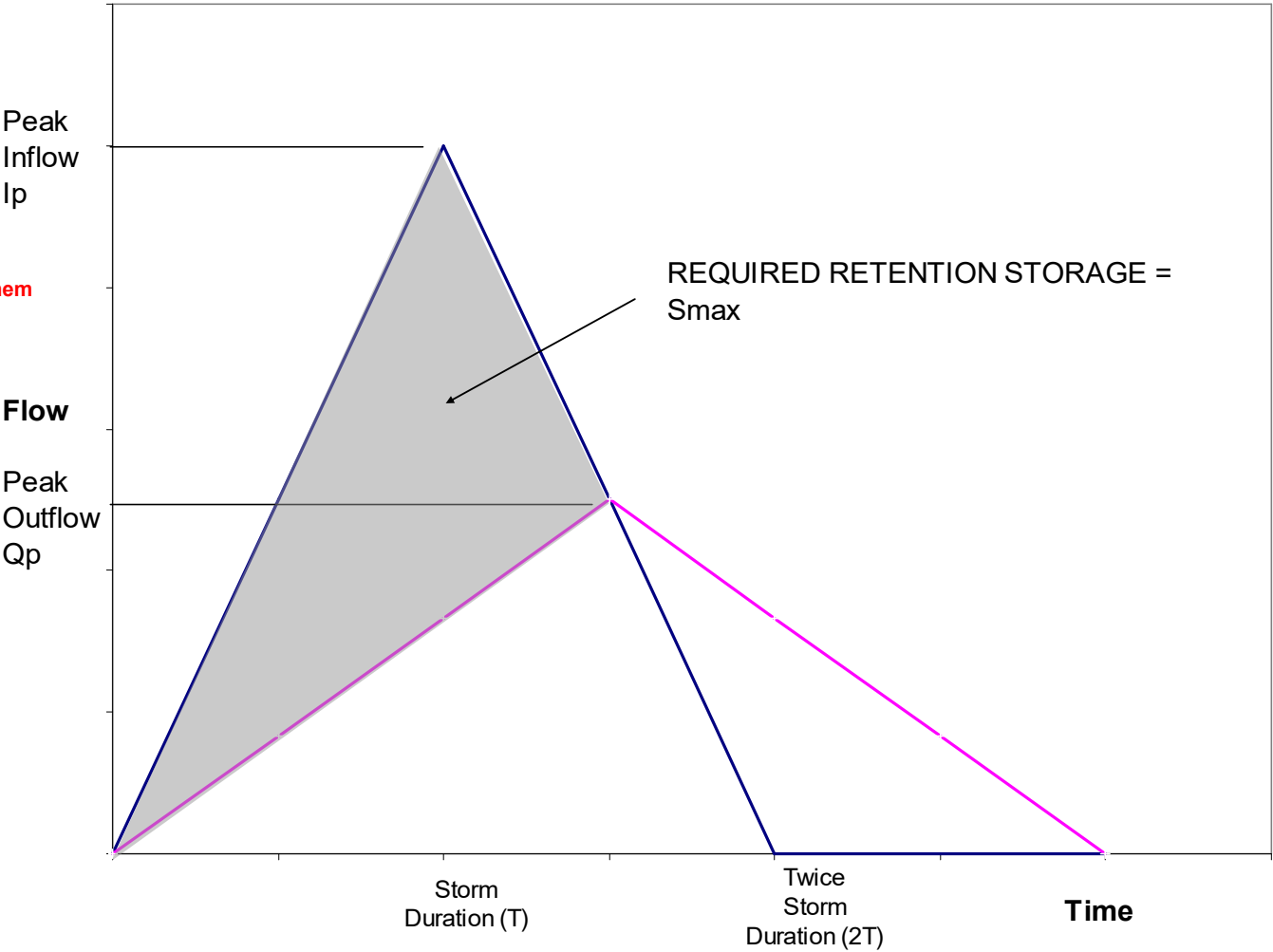
$S_{max} = V_1 (1 - Q_p/I_p)$

S_{max} = Maximum Volume of temporary Storage (m³)

V_1 = Volume of inflow flood (m³)

I_p = Peak discharge of inflow hydrograph (m³/s)

Q_p = Peak discharge of outflow hydrograph (m³/s)



Clause 55 Assessment

Requirement	Response
<p>Clause 55.01-1 Neighbourhood and site description</p> <p>The neighbourhood and site description may use a site plan, photographs or other techniques and must accurately include:</p> <p>In relation to the neighbourhood:</p> <ul style="list-style-type: none"> - The pattern of development of the neighbourhood. - The built form, scale and character of surrounding development including front fencing. - Architectural and roof styles. - Any other notable features or characteristics of the neighbourhood. <p>In relation to the site:</p> <ul style="list-style-type: none"> - Site shape, size, orientation and easements. - Levels of the site and the difference in levels between the site and surrounding properties. - The location of existing buildings on the site and on surrounding properties, including the location and height of walls built to the boundary of the site. - The use of surrounding buildings. - The location of secluded private open space and habitable room windows of surrounding properties which have an outlook to the site within 9 metres. - Solar access to the site and to surrounding properties. - Location of significant trees existing on the site and any significant trees removed from the site 12 months prior to the application being made, where known. - Any contaminated soils and filled areas, where known. - Views to and from the site. - Street frontage features such as poles, street trees and kerb crossovers. 	<p>Neighbourhood:</p> <ul style="list-style-type: none"> - The pattern of development of the neighbourhood is based around a typical grid style subdivision evident in country towns. Lots are typically developed with single dwellings. - The surrounding built form character is mixed, reflecting the various dates of construction of dwellings in the township. There is almost no unifying feature of architectural styles or roof forms, other than dwellings being detached, and with pitched roofs. - The surrounding dwellings are single storey scale. - Front fencing includes a mix of no fencing, high and lower Colorbond fencing, post and rail fences, brick and chain fencing, picket fencing and post and wire fencing. - The neighbourhood comprises a mix of kerb and channel and informal shoulders along roadside, in some cases generous verges but in other cases smaller ones, some street trees and some footpath connectivity. <p>Site:</p> <ul style="list-style-type: none"> - The Site forms part of a larger parcel of land comprising the former Kaniva Aerodrome. The Site of the development is separately fenced from the larger parcel, and is vacant land not used for any purpose. Some scattered trees are located on the Site, but generally not near the Site of the proposed development, and no trees are to be removed as part of this proposal. A former weather station is also located on the Site, but not near the proposed development. - In the north western corner of the Site is a small number of outbuildings and facilities used as the SSAA (Sporting Shooters Association of Australia) Victoria Nhill Shotgun Range. The Site of the proposed development is approximately 400 metres from the nearest range. - The Site is generally flat, comprising an overall area of approximately 30 hectares in an irregular shape, and is bound by Kelly Street to the south, Paterson Street / Yearlinga Road to the west, and unnamed roads to the north and east.

Requirement	Response
<ul style="list-style-type: none"> - The location of local shops, public transport services and public open spaces within walking distance. - Any other notable features or characteristics of the site. 	<ul style="list-style-type: none"> - The site is relatively flat and falls to the northeast. Surrounding land is similarly generally flat. - Surrounding buildings are used for dwellings. - Given the orientation of the land and the roads surrounding the land, there is no identified secluded private open space and habitable room windows of surrounding properties which have an outlook to the site within 9 metres. - Views to and from the site are from the surrounding road network and dwellings. - Street frontage features include power lines and poles, street trees which include a mix of formal planting and regrowth / native vegetation, and kerb and footpath on the south side of Kelly Street but not the north. - Rogerson Street playground is approximately 150 metres walk from the proposed dwelling sites. - Shops are located along Commercial Street, approximately 1km south of the Site, which is approximately 13 minutes walk from the Site. - Kaniva Train Station is approximately 850 metres or a 12 minute walk from the Site.

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(West Wimmera Shire Council)

<p>Clause 55.01-2 Design response</p> <p>The design response must explain how the proposed design:</p> <ul style="list-style-type: none"> - Derives from and responds to the neighbourhood and site description. - Meets the objectives of Clause 55. - Responds to any neighbourhood character features for the area identified in a local planning policy or a Neighbourhood Character Overlay. <p>The design response must include correctly proportioned street elevations or photographs showing the development in the context of adjacent buildings. If in the opinion of the responsible authority this requirement is not relevant to the evaluation of an application, it may waive or reduce the requirement.</p>	<p>Complies</p> <p>The proposed dwellings are located towards the northern edge of the settlement of Kaniva, which has a township character reflective of its zoning. The surrounding dwellings comprise a mix of architectural designs and styles, which reflect the varied time and styles of development within Kaniva. The proposed dwellings are contemporary in design, which will integrate with the surrounding character of dwellings, whilst contributing to the mix of dwellings which create a vibrant neighbourhood.</p>
<p>Clause 55.02-1 Neighbourhood character (Standard B1)</p> <p>The design response must be appropriate to the neighbourhood and the site.</p> <p>The proposed design must respect the existing or preferred neighbourhood character and respond to the features of the site.</p>	<p>Complies</p> <p>The proposal will integrate with the single storey character of nearby dwellings, and provide a contemporary addition to the streetscape.</p>

Requirement	Response
Clause 55.02-2 Residential policy (Standard B2) An application must be accompanied by a written statement to the satisfaction of the responsible authority that describes how the development is consistent with any relevant policy for housing in the Municipal Planning Strategy and the Planning Policy Framework.	Complies Refer to Town Planning Report which provides for a response to the MPS and PPF.
Clause 55.02-3 Dwelling diversity (Standard B3) Developments of ten or more dwellings should provide a range of dwelling sizes and types, including dwellings with a different number of bedrooms, and at least one dwelling that contains a kitchen, bath or shower, and a toilet and wash basin at ground floor level.	N/A Proposal is only for three dwellings.
Clause 55.02-4 Infrastructure (Standard B4) Development should be connected to reticulated services, including reticulated sewerage, drainage, electricity and gas, if available. Development should not unreasonably exceed the capacity of utility services and infrastructure, including reticulated services and roads. In areas where utility services or infrastructure have little or no space capacity, developments should provide for the upgrading or mitigation of the impact on services or infrastructure.	Complies The dwellings are to be connected to infrastructure including reticulated sewer, power and telecommunications.
Clause 55.02-5 Integration with the street (Standard B5) Developments should provide adequate vehicle and pedestrian links that maintain or enhance local accessibility. Dwellings should be oriented to front existing and proposed streets. High fencing in front of dwellings should be avoided if practicable. Dwellings next to existing public open space should be laid out to complement the open space.	Complies The dwellings have been designed to integrate with the street network, by providing direct frontage to Paterson Street.

Requirement	Response
Clause 55.03-1 Street setback (Standard B6) Walls of buildings should be set back from streets: <ul style="list-style-type: none"> At least the distance specified in a schedule to the zone, or If no distance is specified in a schedule to the zone, the distance specified in Table B1. 	Complies. The required front setback is 4 metres, and all dwellings meet this front setback. The required side setback for Lot 3 dwelling is 2 metres, which is met.
Clause 55.03-2 Building height (Standard B7) The maximum building height should not exceed the maximum height specified in the zone, schedule to the zone or an overlay that applies to the land. If no maximum height is specified in the zone, schedule to the zone or an overlay, the maximum building height should not exceed 9 metres, unless the slope of the natural ground level at any cross section wider than 8 metres of the site of the building is 2.5 degrees or more, in which case the maximum building height should not exceed 10 metres. Changes of building height between existing buildings and new buildings should be graduated.	Complies The dwellings are single storey, and less than 9 metres. Lot 1: 5.185m Lot 2: 4.745m Lot 3: 4.745m.
Clause 55.03-3 Site coverage (Standard B8) The site area covered by buildings should not exceed: <ul style="list-style-type: none"> The maximum site coverage specified in a schedule to the zone, or If no maximum site coverage is specified in a schedule to the zone, 60 percent. 	Complies Site coverage for each dwelling is no greater than 34%. Lot 1: 34% Lot 2: 29% Lot 3: 30%.

Requirement	Response
Clause 55.03-4 Permeability and Stormwater Management (Standard B9) The site area covered by pervious surfaces should be at least: <ul style="list-style-type: none"> – The minimum area specified in a schedule to the zone; or – If no minimum area is specified in a schedule to the zone, 20 percent of the site. The stormwater management system should be designed to: <ul style="list-style-type: none"> – Meet the current best practice performance objectives for stormwater quality as contained the Urban Stormwater - Best Practice Environmental Management Guidelines (Victorian Stormwater Committee, 1999) – Contribute to cooling, improving local habitat and providing attractive and enjoyable spaces. 	Complies Permeability of the site exceeds 20 per cent. The proposal is intended to be provided with rainwater tanks to retain stormwater. It is considered stormwater can be managed via permit conditions, as appropriate. Permeability: Lot 1: 48% Lot 2: 46% Lot 3: 44%.
Clause 55.03-5 Energy efficiency protection (Standard B10) Buildings should be: <ul style="list-style-type: none"> – Oriented to make appropriate use of solar energy. – Sited and designed to ensure that the energy efficiency of existing dwellings on adjoining lots is not unreasonably reduced. – Living areas and private open space should be located on the north side of the dwelling, if practicable. – Dwellings should be designed so that solar access to north-facing windows is maximised. 	Complies The dwellings have been orientated to maximise energy efficiency. Rooftop solar energy systems are proposed on the north facing roofs to reduce the reliance on fossil fuels. Living rooms and open space areas are located on the north side of the dwellings, where practicable. No adverse impacts to nearby solar systems have been identified.

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 WEST WIMMERA SHIRE PLANNING SCHEME
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 Permit No. A1120 of 15/08/2025
 (West Wimmera Shire Council)

Requirement	Response
Clause 55.03-6 Open space (Standard B11) If any public or communal open space is provided on site, it should: <ul style="list-style-type: none"> – Be substantially fronted by dwellings, where appropriate. – Provide outlook for as many dwellings as practicable. – Be designed to protect any natural features on the site. – Be accessible and useable. 	N/A No public or communal open space is provided.
Clause 55.03-7 Safety (Standard B12) Entrances to dwellings and residential buildings should not be obscured or isolated from the street and internal accessways. Planting which creates unsafe spaces along streets and accessways should be avoided. Developments should be designed to provide good lighting, visibility and surveillance of car parks and internal accessways. Private spaces within developments should be protected from inappropriate use as public thoroughfares.	Complies Frontages of both dwellings are easily visible, and provide a sense of safety through the use of the porch.
Clause 55.03-8 Landscaping (Standard B13) The landscape layout and design should: <ul style="list-style-type: none"> – Protect any predominant landscape features of the neighbourhood. – Take into account the soil type and drainage patterns of the site. – Allow for intended vegetation growth and structural protection of buildings. – In locations of habitat importance, maintain existing habitat and provide for new habitat for plants and animals. – Provide a safe, attractive and functional environment for residents. Development should provide for the retention or planting of trees, where these are part of the character of the neighbourhood.	Complies Areas of landscaping have been identified to ensure the dwellings are well integrated into the neighbourhood, and enhance the amenity of the site. Should additional information in relation be required, this can managed via permit conditions, as appropriate.
Development should provide for the replacement of any significant trees that have been removed in the 12 months prior to the application being made.	

Requirement	Response
<p>The landscape design should specify landscape themes, vegetation (location and species), paving and lighting.</p> <p>Development should meet any additional landscape requirements specified in a schedule to the zone.</p>	
<p>Clause 55.03-9 Access (Standard B14)</p> <p>The width of accessways or car spaces should not exceed:</p> <ul style="list-style-type: none"> – 33 percent of the street frontage, or – if the width of the street frontage is less than 20 metres, 40 per cent of the street frontage. <p>No more than one single-width crossover should be provided for each dwelling fronting a street.</p> <p>The location of crossovers should maximise the retention of on-street car parking spaces.</p> <p>Developments must provide for access for service, emergency and delivery vehicles.</p>	<p>Complies.</p> <p>Lot 1: 30% of the frontage, complies.</p> <p>Lot 2: 30% of frontage, complies.</p> <p>Lot 3: 34% complies as frontage is less than 20 metres.</p>
<p>Clause 55.03-10 Parking location (Standard B15)</p> <p>Car parking facilities should:</p> <ul style="list-style-type: none"> – Be reasonably close and convenient to dwellings and residential buildings. – Be secure. – Be well ventilated if enclosed. <p>Shared accessways or car parks of other dwellings and residential buildings should be located at least 1.5 metres from the windows of habitable rooms. This setback may be reduced to 1 metre where there is a fence at least 1.5 metres high or where window sills are at least 1.4 metres above the accessway.</p>	<p>Complies</p> <p>Each dwelling provides for a double garage, integrated into the dwelling design.</p>
<p>Clause 55.04-1 Side and rear setbacks (Standard B17)</p> <p>A new building not on or within 200mm of a boundary should be set back from side or rear boundaries:</p> <p>If no distance is specified in a schedule to the zone, 1 metre, plus 0.3 metres for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres.</p>	<p>Complies</p> <p>Side setbacks are compliant with the standard.</p>

Requirement	Response
<p>Sunblinds, verandahs, porches, eaves, fascias, gutters, masonry chimneys, flues, pipes, domestic fuel or water tanks, and heating or cooling equipment or other services may encroach not more than 0.5 metres into the setbacks of this standard.</p> <p>Landings having an area of not more than 2 square metres and less than 1 metre high, stairways, ramps, pergolas, shade sails and carports may encroach into the setbacks of this standard.</p>	
<p>Clause 55.04-2 Walls on boundaries (Standard B18)</p> <p>A new wall constructed on or within 200mm of a side or rear boundary of a lot or a carport constructed on or within 1 metre of a side or rear boundary of a lot should not abut the boundary:</p> <ul style="list-style-type: none"> For a length more than the distance specified in a schedule to the zone; or as described in the Standard. 	<p>N/A</p> <p>No walls on boundaries proposed.</p>
<p>Clause 55.04-3 Daylight to existing windows (Standard B19)</p> <p>Buildings opposite an existing habitable room window should provide for a light court to the existing window that has a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky. The calculation of the area may include land on the abutting lot.</p> <p>Walls or carports more than 3 metres in height opposite an existing habitable room window should be set back from the window at least 50 per cent of the height of the new wall if the wall is within a 55 degree arc from the centre of the existing window. The arc may be swung to within 35 degrees of the plane of the wall containing the existing window.</p> <p>Where the existing window is above ground floor level, the wall height is measured from the floor level of the room containing the window.</p>	<p>N/A</p> <p>There are no existing windows which would be affected.</p>

Requirement	Response
Clause 55.04-4 North-facing windows (Standard B20) If a north-facing habitable room window of an existing dwelling is within 3 metres of a boundary on an abutting lot, a building should be setback from the boundary 1 metre, plus 0.6 metre for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres, for a distance of 3 metres from the edge of each side of the window. A north-facing window is a window with an axis perpendicular to its surface oriented north 20 degrees west to north 30 degrees east.	N/A No existing north facing windows identified.
Clause 55.04-5 Overshadowing open space (Standard B21) Where sunlight to the secluded private open space of an existing dwelling is reduced, at least 75 percent, or 40 square metres with minimum dimension of 3 metres, whichever is the lesser area, of the secluded private open space should receive a minimum of five hours of sunlight between 9am and 3pm on 22 September.	Complies No adverse impacts to adjoining open space have identified.
Clause 55.04-6 Overlooking (Standard B22) A habitable room window, balcony, terrace, deck or patio should be located and designed to avoid direct views into the secluded private open space and habitable room windows of an existing dwelling within a horizontal distance of 9 metres (measured at ground level) of the window, balcony, terrace, deck or patio. Views should be measured within a 45 degree angle from the plane of the window or perimeter of the balcony, terrace, deck or patio, and from a height of 1.7 metres above floor level.	Complies Fencing is to be used to limit overlooking between the proposed dwellings. This is to comprise 1.8m high fencing. Permit conditions are invited to ensure this is provided.
Clause 55.04-7 Internal views (Standard B23) Windows and balconies should be designed to prevent overlooking of more than 50 per cent of the secluded private open space of a lower-level dwelling or residential building directly below and within the same development.	N/A No lower level dwellings proposed.

PLANNING & ENVIRONMENT
 WEST WIMMERA SHIRE PLANNING ACT 1987
 The planning scheme is subject to the provisions of the Planning and Environment Act 1987.
 NOTICE in respect of the proposed development.
 Permit No. A1123 of the proposed development.
 (West Wimmera Shire Council)

Requirement	Response
Clause 55.04-8 Noise impacts (Standard B24) Noise sources, such as mechanical plant, should not be located near bedrooms of immediately adjacent existing dwellings. Noise sensitive rooms and secluded private open spaces of new dwellings and residential buildings should take account of noise sources on immediately adjacent properties. Dwellings and residential buildings close to busy roads, railway lines or industry should be designed to limit noise levels in habitable rooms.	Complies Each dwelling is provided with sufficient area to locate mechanical plant away from bedrooms.
Clause 55.05-1 Accessibility (Standard B25) The dwelling entries of the ground floor of dwellings and residential buildings should be accessible or able to be easily made accessible to people with limited mobility.	Complies Dwellings are accessible and single storey. Standard B25 is met. Dwellings will need to comply with new NCC requirements for accessibility.
Clause 55.05-2 Dwelling entry (Standard B26) Entries to dwellings and residential buildings should: <ul style="list-style-type: none"> – Be visible and easily identifiable from streets and other public areas. – Provide shelter, a sense of personal address and a transitional space around the entry. 	Complies Dwelling entry is conveniently located at the front of each dwelling. They are visible, safe, and provide shelter via a porch.
Clause 55.05-3 Daylight to new windows (Standard B27) A window in a habitable room should be located to face: <ul style="list-style-type: none"> – An outdoor space clear to the sky or a light court with a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky, not including land on an abutting lot, or – A verandah provided it is open for at least one third of its perimeter, or – A carport provided it has two or more open sides and is open for at least one third of its perimeter. 	Complies All new windows are provided with appropriate light courts. The Town Planning Drawings show that the dwellings are well setback from boundaries to provide for light into new windows in compliance with the standard.

Requirement	Response
<p>Clause 55.05-4 Private open space (Standard B28)</p> <p>A dwelling or residential building should have private open space of an area and dimensions specified in a schedule to the zone.</p> <p>If no area or dimensions are specified in a schedule to the zone, a dwelling or residential building should have private open space consisting of:</p> <ul style="list-style-type: none"> – An area of 40 square metres, with one part of the private open space to consist of secluded private open space at the side or rear of the dwelling or residential building with a minimum area of 25 square metres, a minimum dimension of 3 metres and convenient access from a living room, or – A balcony of 8 square metres with a minimum width of 1.6 metres and convenient access from a living room, or – A roof-top area of 10 square metres with a minimum width of 2 metres and convenient access from a living room. 	<p>Complies</p> <p>Each dwelling affords the provision of more than 40 square metres of rear yard which is secluded, as well as an undercover alfresco area, to enhance the usability of these outdoor spaces.</p> <p>Refer to areas as per delineation on Town Planning Drawings.</p>
<p>Clause 55.05-5 Solar access to open space (Standard B29)</p> <p>The private open space should be located on the north side of the dwelling, if practicable. The southern boundary of secluded private open space should be set back from any wall on the north of the space at least $(2 + 0.9h)$ metres, where 'h' is the height of the wall.</p>	<p>Complies</p> <p>Private open space areas are located on the north and east side of the dwellings and meet the solar access to open space standard and objective.</p>
<p>Clause 55.05-6 Storage (Standard B30)</p> <p>Each dwelling should have convenient access to at least 6 cubic metres of externally accessible, secure storage space.</p>	<p>Complies</p> <p>Storage areas are provided within the garages, and sufficient area is provided for small outbuildings within the yards as required.</p>
<p>Clause 55.06-1 Design detail (Standard B31)</p> <p>The design of buildings, including:</p> <ul style="list-style-type: none"> – facade articulation and detailing, – window and door proportions, – roof form, and – verandahs, eaves and parapets, <p>should respect the existing or preferred neighbourhood character.</p>	<p>Complies</p> <p>The design of the dwellings are conventional, comprising hipped roof forms with eaves and the use of a brick façade. A sense of address is provided to the street by the front door, entry porch and glazing to the main bedroom. This will ensure that the presentation to the street is acceptable and integrates with the surrounding neighbourhood.</p>

Requirement	Response
Garages and carports should be visually compatible with the development and the existing or preferred neighbourhood character.	
Clause 55.06-2 Front fences (Standard B32)	N/A
<p>The design of front fences should complement the design of the dwelling and any front fences on adjoining properties.</p> <p>A front fence within 3 metres of a street should not exceed:</p> <ul style="list-style-type: none"> – The maximum height specified in a schedule to the zone, or – If no maximum height is specified in a schedule to the zone, the maximum height specified in Table B3. 	No front fencing is proposed.
Clause 55.06-3 Common property (Standard B33)	N/A
<p>Developments should clearly delineate public, communal and private areas.</p> <p>Common property, where provided, should be functional and capable of efficient management.</p>	No common area is provided.
Clause 55.06-4 Site services (Standard B34)	Complies
<p>The design and layout of dwellings and residential buildings should provide sufficient space (including easements where required) and facilities for services to be installed and maintained efficiently and economically.</p> <p>Bin and recycling enclosures, mailboxes and other site facilities should be adequate in size, durable, waterproof and blend in with the development.</p> <p>Bin and recycling enclosures should be located for convenient access by residents.</p> <p>Mailboxes should be provided and located for convenient access as required by Australia Post.</p>	<p>Adequate space is provided for mailboxes for each dwelling.</p> <p>Bins can be stored within the garage or to the rear of the dwellings, where they would be well screened.</p>

PLANNING & ENVIRONMENT
WEST WIMMERA SHIRE COUNCIL
The plan/development is endorsed under
NOTICE in respect of the Planning Scheme
Permit No. PA1112 Date below permit
(West Wimmera Shire Council) 025

PLANNING & ENVIRONMENT ACT 1987
WEST WIMMERA SHIRE PLANNING SCHEME
The plan/application is endorsed for
NOTICE in respect of the below Permit.
Permit No: PA1192 Date: 15/08/2025
(West Wimmera Shire Council)



DO NOT SCALE DRAWINGS

BUILDER TO VERIFY ALL WORK
INCLUDING DIMENSIONS AND LEVELS
BEFORE BUILDING COMMENCES

VIC REG NO
DP-AD 59100

ILLUSTRATION
ONLY

WEST WIMMERA 3BR HOME

LOT 2 PATERSON STREET KANIVA
VIC 3419

 **ALEXSTAR**
BUILDING DESIGN

e geoff@alexstar.com.au
mob 0400 251 245

LOT 2 PATERSON STREET KANIVA
VIC 3419

FINISHES SCHEDULE PREFIXES

B BALUSTRADE
BEN BENCHTOP
CAB CABINETRY
CF CEILING FINISH
EL ELECTRICAL
FF FLOOR FINISH
FR FRAMING
GF GENERAL FINISH
GN GENERAL NOTE
H HEATING
J JOINERY
P POOL
PL PLUMBING
RF ROOFING
SF SOFT FURNISHINGS
SITE SITEWORKS
SL SLOPE LINING
SS STRUCTURE
SV SERVICES
WDF WINDOW FRAMING
WF WALL FINISH
WP WALL PLINTH/BANDING

REVISION SCHEDULE

NUMBER	DATE	DESCRIPTION
A	5/1/25	FOR INITIAL COMMENT
B	15/1/25	WINDOW SIZE AND HEIGHT ADJUSTMENTS
C	16/04/25	CHANGE LOT NO TO NEW LOT NO, ADD SHADOW DIAGRAMS, ADD AREA PLAN, ADD RAIN WATER TANK, ADD ADDITIONAL ELEVATION NOTES AND DIMENSIONS
D	06/05/25	CHANGE SOLAR STUDIES TO 22ND SEPTEMBER
E		
F		
G		
H		
I		
J		
K		

PLANNING AND ENVIRONMENT ACT 1987
The Planning and Environment Act 1987 is endorsed for
NOTICE in relation to the below Permit.
Permit No: 15/08/2025
(West Wimmera Shire Council)

BUILDING AREAS

LEVEL	NAME	AREA
GROUND FLOOR	GARAGE	43.9
GROUND FLOOR	ALFRESCO	11.3
GROUND FLOOR	PORCH	1.9
GROUND FLOOR	LIVING	113.7
		170.7

SHEET LIST

SHEET NUMBER	SHEET NAME
0	TITLE
00	COVER
PI9	SOLAR STUDY
WD01	SITE PLAN
WD02	GROUND FLOOR PLAN
WD04	NORTH & EAST ELEVATION
WD05	SOUTH & WEST ELEVATION
WD15	AREAS

WINDOW SCHEDULE

LEVEL	MARK	TYPE	HEIGHT	WIDTH	SILL HEIGHT	HEAD HEIGHT	COMMENTS	Room
GROUND FLOOR	1	2057.2170 ASW	2057	2170	43	2100		BED 1
GROUND FLOOR	2	0857.1450 ASW	857	1450	1243	2100		ENS
GROUND FLOOR	3	1457.1450 ASW	1457	1450	643	2100		BED 3
GROUND FLOOR	4	0857.06 ASW	857	610	1243	2100		LAUNDRY
GROUND FLOOR	5	0857.085 ASW	857	850	1243	2100		BATH
GROUND FLOOR	6	1457.1450 ASW	1457	1450	643	2100		BED 2
GROUND FLOOR	7	18.1450 ASW	1800	1450	300	2100		LIVING
GROUND FLOOR	8	2057.1690 ASW	2057	1690	43	2100		DINING
GROUND FLOOR	9	2057.850 ASW	2057	850	43	2100		KITCHEN
GROUND FLOOR	10	0514.24 ASW	514	2410	1586	2100		GARAGE

ROOM SCHEDULE

LEVEL	NAME	AREA	PERIMETER	FLOOR FINISH	CLASS	CEILING FINISH	BASE FINISH
GROUND FLOOR	ALFRESCO	11 m²	13.6 m	CONCRETE			
GROUND FLOOR	BATH	5 m²	8.8 m	TILES			
GROUND FLOOR	BED 1	13 m²	14.3 m	TIMBER			
GROUND FLOOR	BED 2	14 m²	14.7 m	TIMBER			
GROUND FLOOR	BED 3	11 m²	13.1 m	TIMBER			
GROUND FLOOR	DINING	10 m²	13.3 m	TIMBER			
GROUND FLOOR	ENS	5 m²	10.0 m	TILES			
GROUND FLOOR	ENTRY	11 m²	21.5 m	TIMBER			
GROUND FLOOR	GARAGE	40 m²	25.2 m	CONCRETE			
GROUND FLOOR	HALL	4 m²	9.8 m	TIMBER			
GROUND FLOOR	KITCHEN	8 m²	13.0 m	TIMBER			
GROUND FLOOR	LAUNDRY	4 m²	8.4 m	TILES			
GROUND FLOOR	LIVING	14 m²	15.1 m	TIMBER			
GROUND FLOOR	PORCH	2 m²	5.5 m	TILES			
		151 m²	186.3 m				
		151 m²	186.3 m				

DOOR SCHEDULE

LEVEL	MARK	TYPE	WIDTH	HEIGHT	SILL HEIGHT	HEAD HEIGHT	COMMENTS	Room
GROUND FLOOR	1	920.2040	920	2040	0	2040	ZERO TRANSITION ENTRY	PORCH
GROUND FLOOR	2	23.5210 PANEL DOOR	5200	2375	-25	2350		GARAGE
GROUND FLOOR	3	21.2750 FXF ASD	2750	2130	-30	2100	ASD	ALFRESCO
GROUND FLOOR	4	870.2040	870	2040	0	2040		LAUNDRY
GROUND FLOOR	5	870.2040	870	2040	0	2040		ENTRY
GROUND FLOOR	6	870.2040 CS	870	2040	0	2040	CAV SL	BED 1
GROUND FLOOR	7	870.2040	870	2040	0	2040		ENTRY
GROUND FLOOR	8	870.2040	870	2040	0	2040		ENTRY
GROUND FLOOR	9	870.2040	870	2040	0	2040		HALL
GROUND FLOOR	10	09.24	900	2400	0	2400	OPENING	ENTRY
GROUND FLOOR	11	870.2040	870	2040	0	2040		HALL
GROUND FLOOR	12	870.2040	870	2040	0	2040		HALL

REVISIONS

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WEST WIMMERA

LOT 2 PATERSON
STREET KANIVA
VIC 3419

SCALE
(A3)
DRAWING
TITLE

ISSUE:
PLANNING

PROJECT NUMBER
24-49

DATE
31/12/24

NO
0

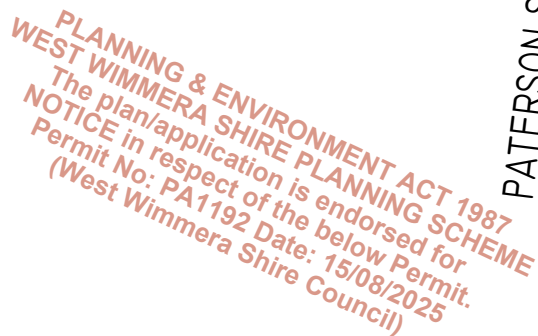
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DRAWINGS

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LEVELS
BEFORE BUILDING COMMENCES



VIC REG DP-AD 59100

e geoff@alexstar.com.au
mob 0400 251 245



SCALE: 1 : 200

SITE LESS THAN 400M2

PROVIDE 2000L RETENTION TANK
PLUS 1000 DETENTION WHERE PERMEABLE SITE IS LESS THAN 30%

PROVIDE 5000L TANK (4000 RETENTION AND 1000L DETENTION)

DETENTION TO BE PROVIDED THROUGH 25MM MAX DIAMETER SLOW RELEASE ORIFICE

WHERE GREATER THAN 35% OF THE SITE IS PERVIOUS TO WATER, TANK TO BE FULLY RETENTION

ALL LANDSCAPING SHOWN IS INDICATIVE AND SUBJECT TO CHANGE ON SITE WHEN MORE DETAIL IS AVAILABLE

BUILDING WORKS CONTRACT ONLY TO THE EXTERIOR OF THE BUILDING LINE, UNLESS SPECIFICALLY NOTED IN THE CONTRACT

ALL LANDSCAPING, FENCING AND RETAINING IS BY OWNER AFTER HAND OVER, UNLESS SPECIFICALLY NOTED IN THE CONTRACT

STORM WATER AND RAIN WATER TANK - BY OWNER - DOWNPIPES TO GROUND LEVEL BY BUILDER

SWIMMING POOL AND FENCING - BY OWNER

ANY LANDSCAPING IN TURN KEY PROJECTS TO BE SPECIFICALLY NOTED IN CONTRACT OR VARIATION

ALLOTMENT SIZE 450-800M2 1 MEDIUM TREE OR 2 SMALL TREES
ALLOTMENT SIZE GREATER THAN 800M2 1 LARGE TREE OR 2 MEDIUM TREES OR 4 SMALL TREES

SMALL TREE - 4M HIGH 2M SPREAD - 10M² SOIL MIN 1.5M DIMENSION
MEDIUM TREE - 6M HEIGHT 4M SPREAD - 30M² SOIL, 2M MIN DIMENSION
LARGE TREE - 12M HEIGHT 8M SPREAD - 60M² SOIL AND 4M MIN DIMENSION

LARGE TREES

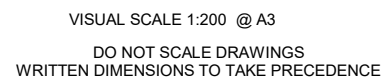
SILVER BIRCH
GINKO BILOBA
MAGNOLIA GRANDIFLORA

MEDIUM TREES

SILVER BIRCH
CERCIS FOREST PANSY
MAGNOLIA TEDDY BEAR
LILLY PILLY

SMALL TREES

MAGNOLIA TEDDY BEAR
JAPANESE MAPLE
LILLY PILLY
PITTOSPORUM






5000L RAIN WATER TANK
CONNECT OVERFLOW TO
STREET WATER TABLE
MIN 50% ROOF
CONNECTED TO TANK

SITE WORKS, LEVELS AND STORM WATER DRAINAGE AS NOTED, WHERE ENGINEERS REPORT AVAILABLE, ENGINEERS DETAILS TAKE PRECEDENCE
BUILDER TO CONFIRM TBM AND FINISHED FLOOR LEVELS PRIOR TO COMMENCING

THE PROPERTY BOUNDARY IS TO BE PEGGED BY A LICENSED SURVEYOR PRIOR TO COMMENCING. IF ANY DISCREPANCIES OCCUR FROM THE TITLE DETAILS, NOTIFY THIS OFFICE. SURVEYORS DETAILS TAKE PRECEDENCE

ALL TRADES TO ENSURE THAT THEY HAVE THE CURRENT DIAL BEFORE YOU DIG INFORMATION PRIOR TO COMMENCING SITE WORKS

5000L RAIN WATER TANK TO BE CONNECTED TO NEAREST WC OR LAUNDRY COLD WATER
BUILDER TO PROVIDE LOOP FOR OWNER TO CONNECT - TANK AND STORM WATER - BY OWNER
WHERE RETICULATED 'PURPLE' WATER IS AVAILABLE RAIN WATER TANK NOT REQUIRED
ALL LANDSCAPING AND EXTERNAL WORKS INDICATIVE AND TO BE DONE BY OWNER AFTER HAND OVER
ALL FENCING - BY OWNER
BUILDER TO PROVIDE DOWNPIPES TO REBATE LEVEL - STORMWATER BY OWNER

-  PAVING - BY OWNER
 -  GRASS - BY OWNER
 -  LANDSCAPING - BY OWNER

CORROSION MODERATE = GREATER THAN 1KM FROM BREAKING SURF OR 100M FROM NON-BREAKING SURF

CORROSION SEVERE = LESS THAN 1KM FROM BREAKING SURF. OR 100M FROM NON-BREAKING SURF

TBM & FFL SUBJECT TO ENGINEERS SITE AND DRAINAGE PLAN

*BUILDER TO VERIFY ALL WORK
INCLUDING DIMENSIONS AND
LEVELS
BEFORE BUILDING
COMMENCES*

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REV D
06/05/25

3BR HOME

LOT 2 PATERSON
STREET KANIVA
VIC 3419

PROJECT NUMBER
24-49

DATE
31/12/24

SCALE
1 : 200 (A3)

DRAWING
SITE PLAN

ISSUE:
PLANNING

NO
WD01

VIC REG
DP-AD 59100

* BUILDING SHALL BE PROTECTED AGAINST TERMITE ATTACK IN ACCORDANCE WITH AS3660.1-2014 AND PROVIDED WITH A DURABLE NOTICE IN ACCORDANCE WITH PART 3.4.3 OF ABCB HOUSING PROVISIONS 2022.

* WHERE A PERIMETER TERMITE BARRIER IS INSTALLED THE HEIGHT OF THE FINISHED CONCRETE LEVEL OF THE SLAB MUST NOT BE LESS THAN 35MM ABOVE THE FFL.

* WHERE A PERIMETER TERMITE BARRIER IS NOT INSTALLED THE HEIGHT OF THE SLAB EDGE REBATE MUST NOT BE LES THAN 75MM ABOVE THE FINISHED PAVED AREA.

* SARKING TO EXTERNAL HEBEL WALLS SHALL BE INSTALLED IN ACCORDANCE WITH AS/NZS 4200.1 & 2

* ROOF SARKING TO HAVE A FLAMMABILITY INDEX NOT GREATER THAN 5

* GLAZING SHALL BE SELECTED AND INSTALLED IN ACCORDANCE WITH AS1288 - 2021 AND AS2047 FOR EXTERNAL GLAZING

* SMOKE DETECTORS SHALL COMPLY WITH AS3786-2014, BE CONNECTED TO CONSUMER MAINS POWER AND BE INTERCONNECTED WHERE THERE IS MORE THAN ONE.

* WATERPROOFING TO WET AREAS WILL BE IN ACCORDANCE WITH AS3740-2021 & 0.242 OF HOUSING PROVISIONS 2022

* THE FLOOR OF A WET AREA CONTAINING A VESSEL MUST BE GRADED TO THE FLOOR WASTE UNLESS ALL VESSELS ARE PROVIDED WITH BUILT OVERFLOW PROTECTION, OR HAVE PERMANENT OPEN TRAPPED CONNECTION TO THE PLUMBING IN ACCORDANCE WITH HOUSING PROVISION SA 10.2.33

* WC DOORS SHALL BE PROVIDED WITH LIFT OFF REMOVABLE HINGES

* ALL WC SHALL BE PROVIDED WITH A MECHANICAL EXHAUST FAN

* MECHANICAL EXAUST FANS SHALL ACHIEVE FLOW RATES OF 25L/S IN BATHROOM OR WC; AND 40L/S IN A KITCHEN AND LAUNDRY

* EXHAUST FANS SHALL DISCHARGE DIRECTLY VIA SHAFT OR DUCT TO OUTDOOR AIR, OR TO VENTILATED ROOF SPACE IN ACCORDANCE TO PART 10.8.2

* EAVE GUTTERS SHALL BE PROVIDED WITH CONTINUOUS OVERFLOW PROVISIONS IN ACCORDANCE WITH BCA-TABLE 7.4.4A (HOUSING PROVISIONS 2022)

* GLASS BALUSTRADE TO BALCONY SHALL HAVE A HANDRAIL ALONG THE TOP EDGE OF THE GLAZED PANELS IN ACCORDANCE WITH AS1288-2021

* PARAPETS SHALL BE PROVIDED WITH A METAL CAPPING EXTENDING DOWN 50MM EACH SIDE AND PROVIDED WITH SARKING IN ACCORDANCE WITH PART 7.5.8 OF THE ABCB HOUSING PROVISIONS 2022.

* THE BUILDING WORK IS TO BE CARRIED OUT IN STRICT ACCORDANCE WITH THE ENGINEERS FOOTING CONSTRUCTION REPORT INCLUDING CONDITIONS AND MANDATORY INSPECTION REQUIREMENTS.

* SUB-FLOOR VENTILATION MUST BE MAINTAINED AT ALL TIMES. THE MINIMUM REQUIREMENTS ARE 6,000MM² PER METRE OF WALL OR 3,000MM² IF THE GROUND UNDER THE DWELLING IS SEALED WITH A MEMBRANE. THERE MUST BE ATLEAST 400MM CLEARANCE FROM GROUND TO THE BOTTOM OF THE BEARER.

* CORROSION PROTECTION REQUIRED WHERE SITE IS WITHIN 1KM OF A NON SURF COAST OR 10KM OF A SURF COAST. MASONRY VENEER TO BE CONSTRUCTED USING STAINLESS STEEL WALL TIES & HOT DIP GALV LINTELS.

* STRUCTURAL STEEL IS TO BE PROVIDED WITH A PROTECTIVE COATING IN ACCORDANCE WITH TABLE 6.3.9A, 6.3.9b & 6.3.9C OF THE ABCB HOUSING PROVISIONS.

* METAL ROOF SHEETING IS TO BE PROVIDED WITH A METAL COATING IN ACCORDANCE WITH 7.2.2A OF THE ABCB HOUSING PROVISIONS.

* WHERE SITE IS WITHIN 100M OF A NON-SURF COAST OR 1KM OF A SURF COAST, AS3700 TABLE 5.1 & APP F REQUIRES M4 (1:0.5:4.5) MORTAR, GRADE 316L STAINLESS STEEL TIES OR ENGINEERED POLYMER TO AS/NZS 2699.1 AND LINTELS TO DURABILITY CLASS RA.

* STAIRS TO BE PROPRIETRY ACCREDITED SYSTEM, STAIRLOCK OR SIMILAR CONSTRUCTED IN STRICT ACCORDANCE WITH PART 11.2 OF THE ABCB HOUSING PROVISIONS, RISER & GOING DIMENSIONS AND SLOPE RELATIONSHIP AS PER TABLE 11.2.2A

* TREADS ARE TO BE PROVIDED WITH A NOSING STROP WITH A SLIP-RESISTANCE CLASSIFICATION NOT LESS THAN THAT LISTED IN TABLE 11.2.4 WHEN TESTED IN ACCORDANCE WITH AS 4586.

* RISERS TO BE OPAQUE OR HAVE MAXIMUM RISER OPENINGS OF 125MM.

* BALUSTRADE FRAMING AND ASSOCIATED CONNECTIONS TO BE DESIGNED IN ACCORDANCE WITH THE LOADING REQUIREMENTS OF AS 1170.1.

NOTE - RANGE HOOD CLEARANCES

GAS COOKTOP CLEARANCE FROM TRIVET TO CABINETS, MINIMUM 650MM
GAS COOKTOP TO RANGE HOOD MIN 750MM
BBQ TO RANGE HOOD 1200MM

* THIS HOUSE HAS BEEN DESIGNED FOR STANDARD LOADS
IE. NO A/C - TANKS ON ROOF, NO SOLAR PANLES, NO WATER BEDS ON LIGHTWEIGHT FLOORING, ETC.



e geoff@alexstar.com.au
mob 0400 251 245

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DRAWINGS

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COMMENCES

ENERGY NOTES

WHERE AN ENERGY REPORT IS PROVIDED - ENERGY REPORT TAKES PRECEDENCE

BUILDING FABRIC

R2.5 INSULATION TO EXTERNAL WALL CAVITIES
R4.0 INSULATION TO CEILING CAVITIES
R2.0 INSULATION TO INTERNAL WALLS
R1.0 INSULATION TO PERIMETER OF FLOOR SLAB IF IN SLAB HEATING/COOLING IS INSTALLED
EXTERNAL GLAZING TO COMPLY WITH THE GLAZING CALCULATOR AS PROVIDED BY ABCB

PV SYSTEM BY OWNER

SERVICES

PROVIDE LOOP FOR CONNECTION OF RAIN WATER TO WC
LIGHT FITTINGS TO BE ENERGY EFFICIENT,
MAX 5W/M2 TO LIVING AREAS - SEE ELECTRICAL LAYOUTS FOR CALCULATIONS
TAPS AND SANITARY FIXTURES WELS 4 STAR OR BETTER
SHOWER ROSES 3 STAR OR BETTER

WHOLE OF HOUSE ASSESSMENT INFORMATION

DUCTED REVERSE CYCLE AC SYSTEM - MIN 5 STAR RATING
USE HIGH EFFICIENCY GAS HOT WATER SERVICE - MIN 5 STAR RATING
GAS COOK TOP - MIN 5 STAR RATING
GAS OVEN - MIN 5 STAR RATING
ALL ROOFS TO BE DESIGNED FOR PV SYSTEM
OWNER TO INSTALL MIN 3KW PV SYSTEM AFTER HAND OVER
BATTERY STORAGE - BY OWNER
LIGHTING - TYPICAL 13W LED DOWNLIGHT 2.2W/M2 (2 PER 12M FLOOR AREA)

WHERE PRODUCTS ARE TO BE INSTALLED TO MANUFACTURERS SPECIFICATION, IT IS THE BUILDERS RESPONSIBILITY TO ENSURE THOSE DETAILS ARE FOLLOWED. WHERE AN AUSTRALIAN STANDARD OR REQUIREMENT OF THE APPROPRIATE LEGISLATION IS TO BE FOLLOWED, IT IS THE BUILDERS RESPONSIBILITY TO ENSURE THE CORRECT INSTALLATION AND PROCEDURES ARE FOLLOWED.

DOWNPipes TO BE PROVIDED AT MAXIMUM 12M SPACING AND ADJACENT TO VALLEY GUTTERS. ALL BOX GUTTERS TO HAVE MINIMUM 90MM DOWNPIPES
ALL BOX GUTTERS TO HAVE OVERFLOW DEVICES
ALL FASCIA GUTTERS TO PROVIDE OVERFLOWS AS PER THE DETAILS ON THE GUTTERS AND OVERFLOWS NOTES. WHERE POSSIBLE USE STRATCO DIMPLD STEEL FASCIA BEHIND GUTTERS

BUILDER TO CHECK ALL WINDOW AND DOOR SIZES ALL HEADS TO ALIGN (EXCEPT WHERE SPECIFICALLY SHOWN AS BENCH HEIGHT WINDOWS OR HIGH/LOW LEVEL WINDOWS) CHECK WINDOW/DOOR SCHEDULE - ADJUSTMENTS PERMITTED TO MATCH BRICK COURSING AS NECESSARY

ENCLOSED WC AREAS TO BE PROVIDED WITH ESCAPE HINGES TO THE DOOR, OR THE DOOR SHALL SLIDE OR SWING OUT OF THE ENCLOSURE

FLOOR PLAN NOTES

ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH THE NCC AND RELEVANT AUSTRALIAN STANDROS AT THE DATE OF DEVELOPMENT APPLICATION - WHERE AN AUSTRALIAN STANDARD IS REFERENCED THE VERSION THAT IS CURRENTLY CALLED UP IN THE NCC AT THE TIME OF BUILDING CONSENT MUST BE USED

ALL BRICK PIERS TO BE REINFORCED WITH 1/IN16 ROD CENTRALLY AND CONCRETE FILLED, OR TO ENGINEERS DETAILS WHERE PROVIDED, ALL CONTROL JOINTS BY ENGINEER

WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. IF DIMENSIONS ARE UNCLEAR, CONTACT THIS OFFICE FOR CLARIFICATION.

ALL TRADES TO CHECK ALL INFORMATION PRIOR TO COMMENCING OR ORDERING MATERIALS. TRADES ARE RESPONSIBLE FOR THE BUILDABILITY OF THEIR AREA OF EXPERTISE AND TO PROVIDE ALL PRODUCTS NECESSARY FOR THE FINAL FINISHED CONSTRUCTION.

DIMENSIONS WITH ARROW HEADS GENERALLY FINISHES DIMENSIONS, DIMENSIONS WITH DIAGONAL TICK MARK TO STRUCTURAL MATERIALS WHERE UNCLEAR - CONTACT THIS OFFICE

THE DESIGNER DOES NOT TAKE THE RESPONSIBILITY OF THE BUILDER. IT IS THE RESPONSIBILITY OF THE BUILDER TO ENSURE ALL INFORMATION IS CORRECT PRIOR TO CONSTRUCTION AND ENGAGEMENT OF SUPPLIERS.

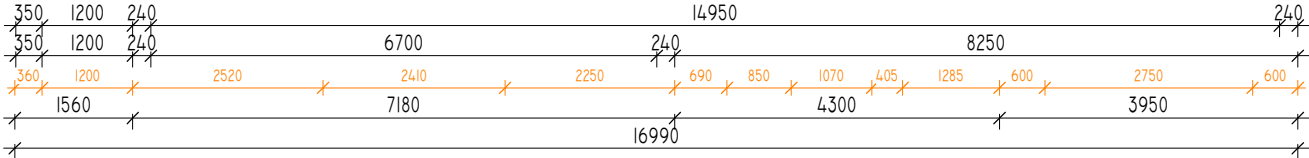
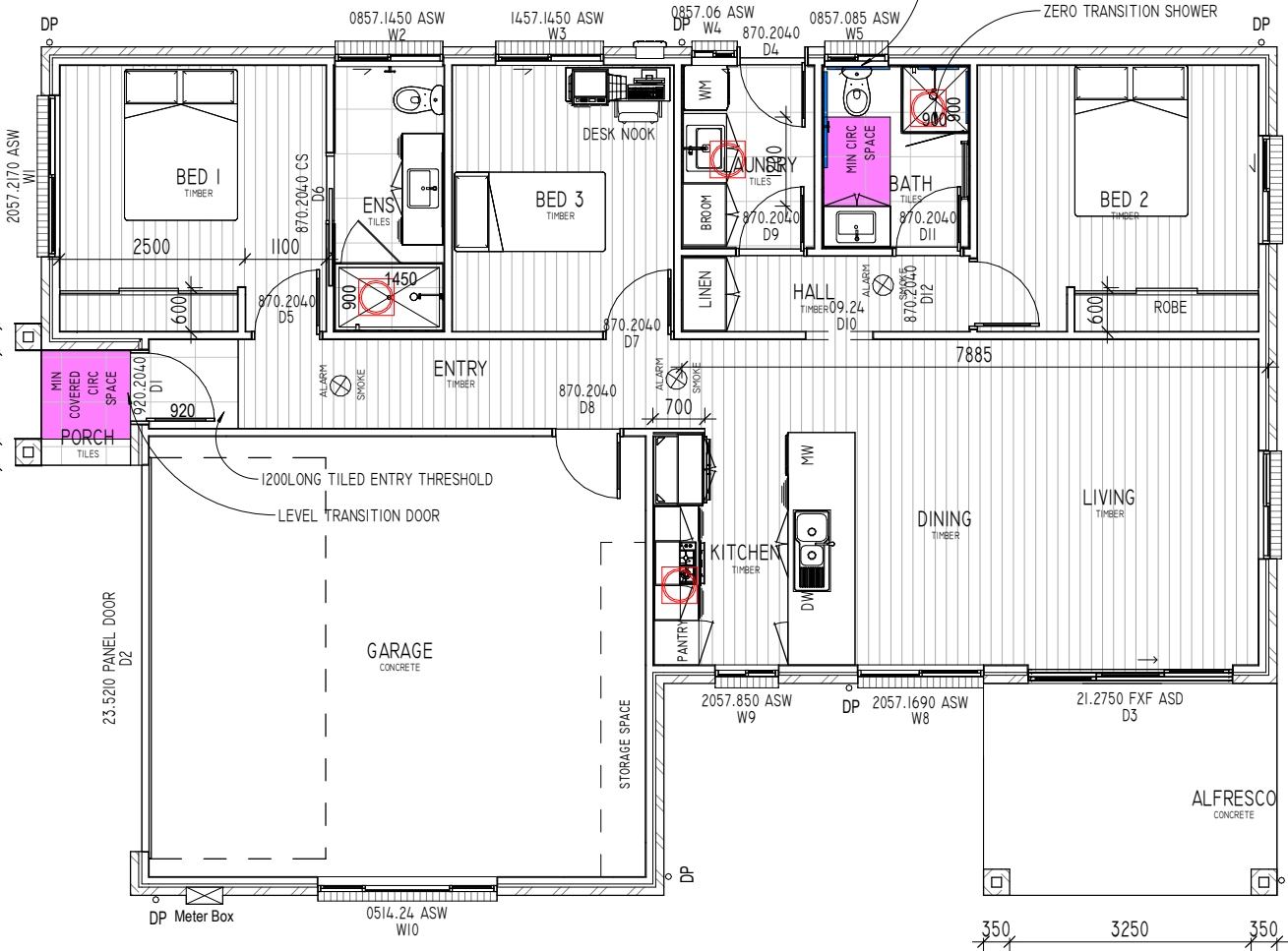
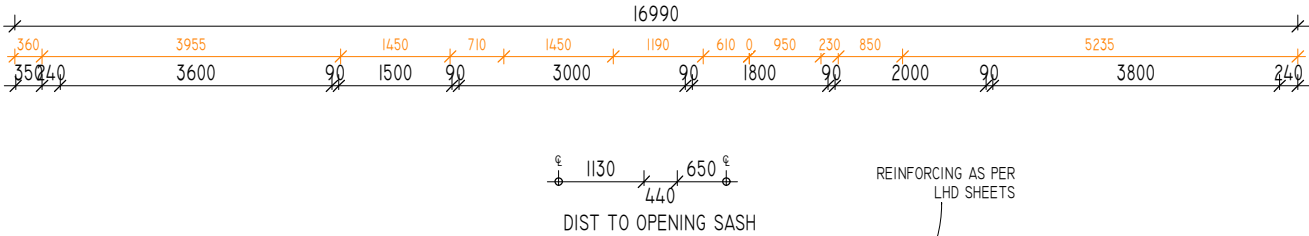
THE BUILDER IS TO ENSURE THAT ALL ASPECTS OF THE BUILDING ARE BUILDABLE AND TO PROVIDE ALL NECESSARY FITTINGS, FIXTURES AND MATERIALS TO ENSURE THAT THE BUILDING IS COMPLETE.



DUCTED EXHAUST FAN



INTERLINKED HARD WIRED SMOKE ALARMS
MAX 3.5M FROM A BEDROOM DOOR



GROUND FLOOR

SCALE: 1 : 100

VIC REG
DP-AD 59100

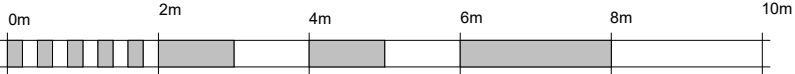
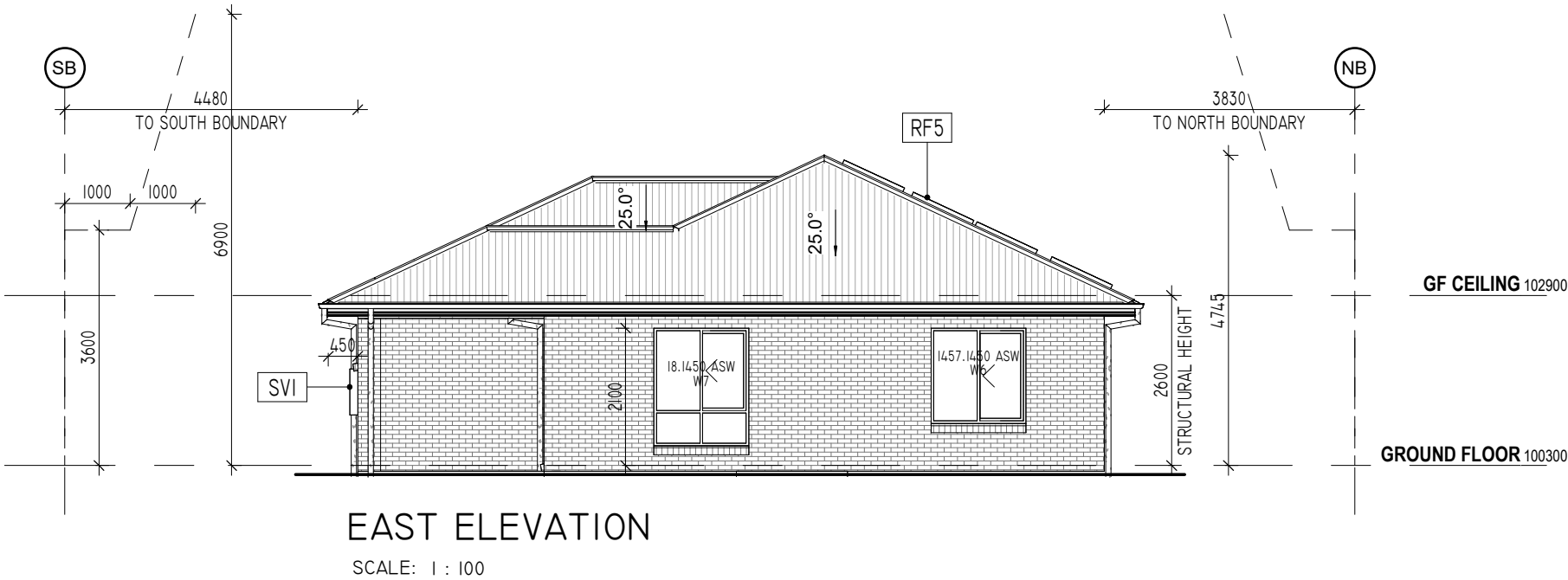
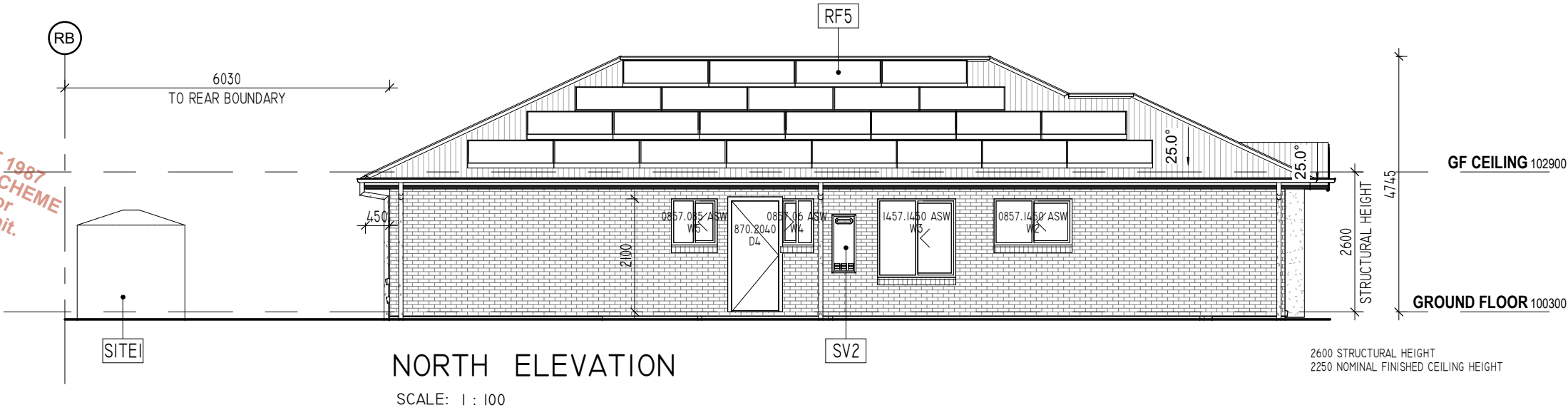
KEYNOTES

CODE	DESCRIPTION
RF5	PHOTO VOLTAIC PANELS
SITE1	RAIN WATER TANK
SV1	METER BOXES
SV2	HOT WATER SERVICE

FINISHES SCHEDULE

- COLORBOND ROOF -
- COLORBOND FASCIAS AND GUTTERS -
- PANEL LIFT DOOR - MADISON PROFILE -
- ENTRANCE DOOR - FEATURE TIMBER -
- WINDOWS - ALUMINIUM -
- FACE BRICK -
- RENDER -
- FEATURE CLADDING -

PLANNING & ENVIRONMENT ACT 1987
WEST WIMMERA SHIRE PLANNING SCHEME
The plan/application is endorsed for
NOTICE in respect of the below Permit.
Permit No: PA1192 Date: 15/08/2025
(West Wimmera Shire Council)



VISUAL SCALE 1:100 @ A3
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WRITTEN DIMENSIONS TO TAKE PRECEDENCE



mob 0400 251 245
e geoff@alexstar.com.au

VIC REG DP-AD 59100

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REVISIONS
REV D
06/05/25

WEST WIMMERA

LOT 2 PATERSON
STREET KANIVA
VIC 3419

SCALE
1 : 100 (A3)
DRAWING
NORTH & EAST ELEVATION

ISSUE:
PLANNING

PROJECT NUMBER
24-49

DATE
31/12/24

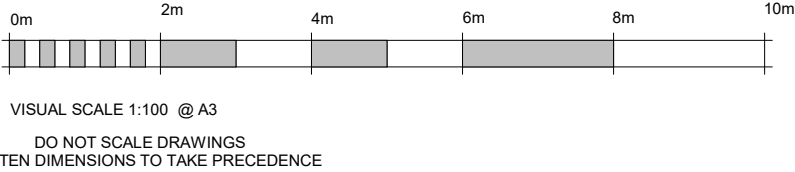
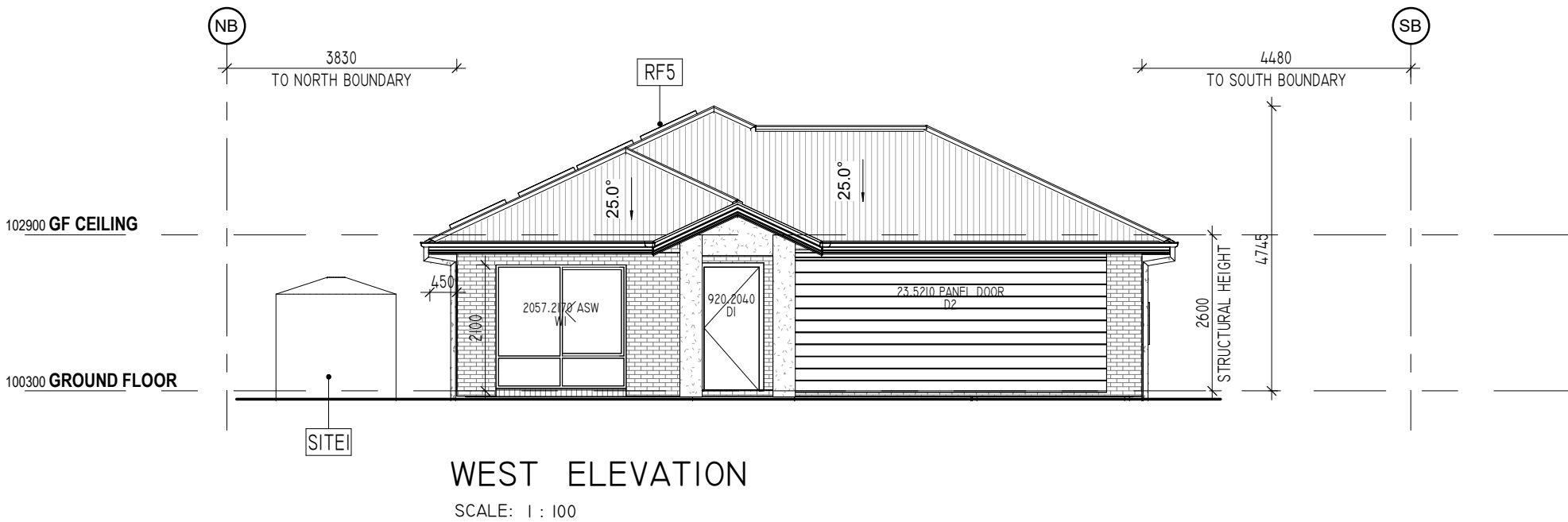
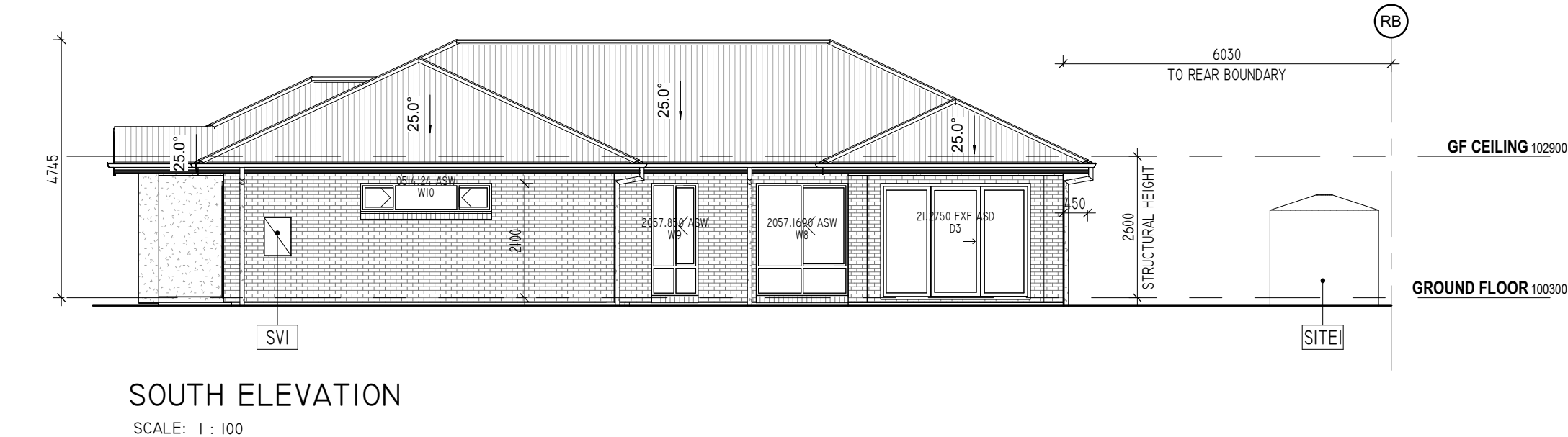
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WD04

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DRAWINGS

BUILDER TO VERIFY ALL WORK
INCLUDING DIMENSIONS AND
LEVELS
BEFORE BUILDING COMMENCES

KEYNOTES	
CODE	DESCRIPTION
RF5	PHOTO VOLTAIC PANELS
SITEI	RAIN WATER TANK
SVI	METER BOXES

PLANNING & ENVIRONMENT ACT 1987
WEST WIMMERA SHIRE PLANNING SCHEME
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REVISIONS
REV D
06/05/25

WEST WIMMERA
LOT 2 PATERSON
STREET KANIVA
VIC 3419

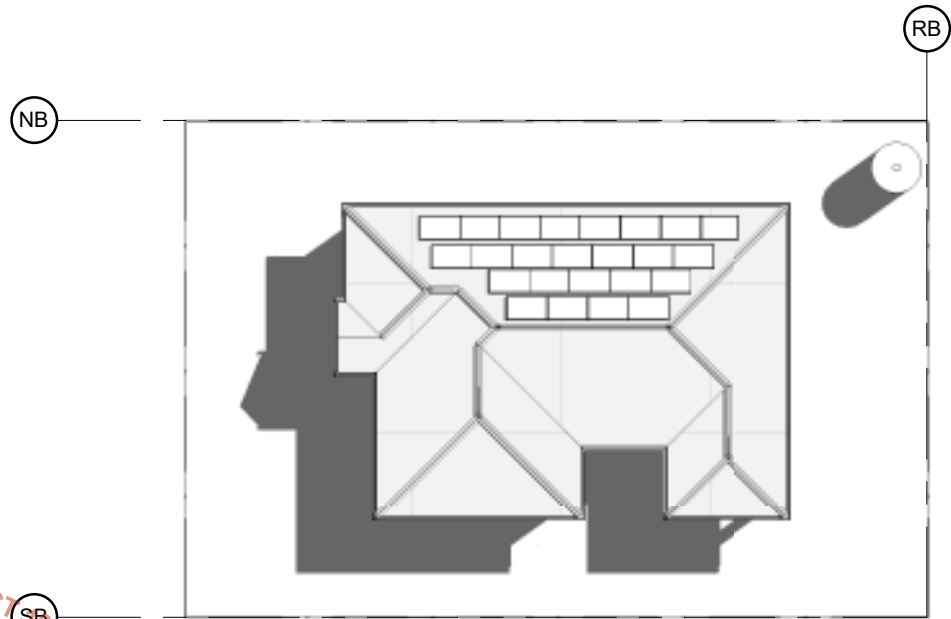
SCALE
1 : 100 (A3)
DRAWING
SOUTH & WEST ELEVATION
ISSUE:
PLANNING

PROJECT NUMBER
24-49
DATE
31/12/24
NO
WD05

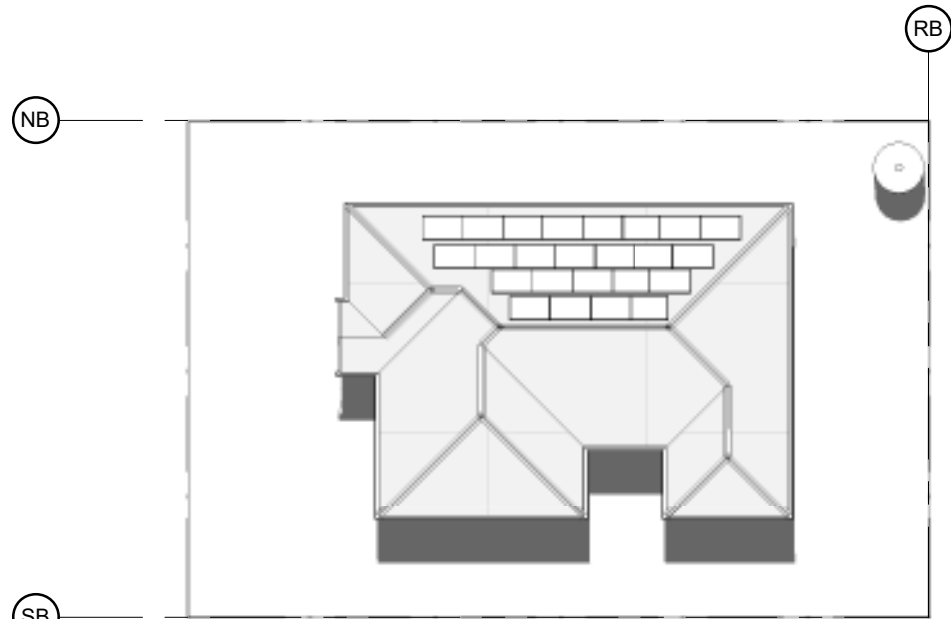
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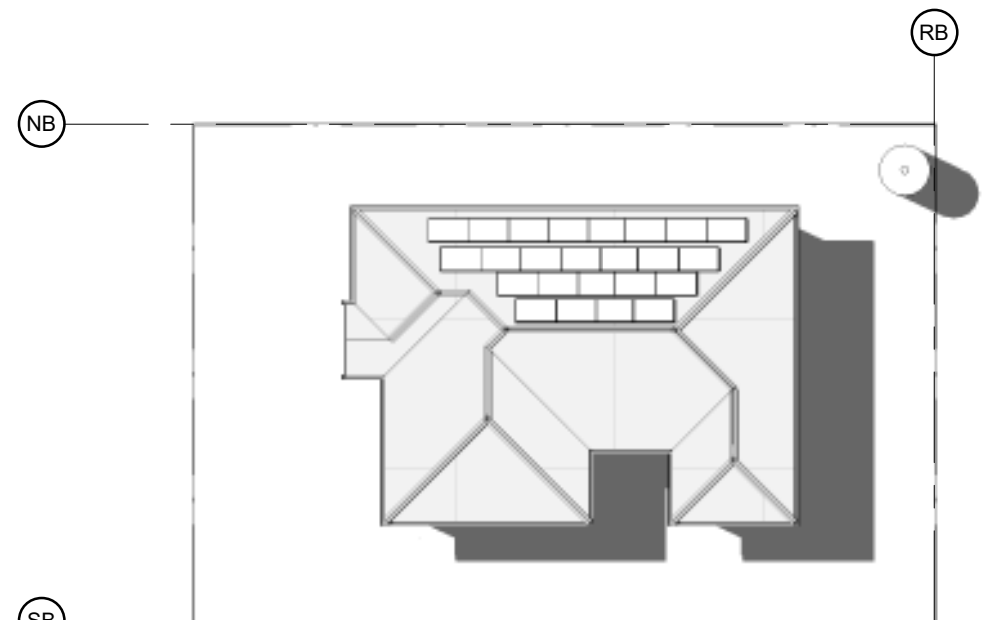
PLANNING & ENVIRONMENT ACT 1987
WEST WIMMERA SHIRE PLANNING SCHEME
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(West Wimmera Shire Council)



ZZZ SHADOWS 9AM 22ND SEPTEMBER
SCALE: 1 : 300



ZZZ SHADOWS NOON 22ND SEPTEMBER
SCALE: 1 : 300



ZZZ SHADOWS 3PM 22ND SEPTEMBER
SCALE: 1 : 300

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DRAWINGS

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COMMENCES

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REVISIONS

REV D
06/05/25

WEST WIMMERA

3BR HOME

LOT 2 PATERSON
STREET KANIVA
VIC 3419

PROJECT NUMBER
24-49

DATE
31/12/24

SCALE
1 : 200 (A3)

DRAWING
AREAS

ISSUE:
PLANNING

NO
WD15

VIC REG
DP-AD 59100

PLANNING & ENVIRONMENT ACT 1987
WEST WIMMERA SHIRE PLANNING SCHEME
The plan/application is endorsed for
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(West Wimmera Shire Council)

NB

RB

SB

PERMEABLE

60 m²

PORCH

2 m²

DRIVEWAY

46 m²

PERMEABLE

40 m²

GARAGE

44 m²

PATH

15 m²

PERMEABLE PRIVATE
OPEN SPACE

215 m²

ALFRESCO

11 m²

PATH

34 m²

LIVING

114 m²

GROUND FLOOR

SCALE: 1 : 200

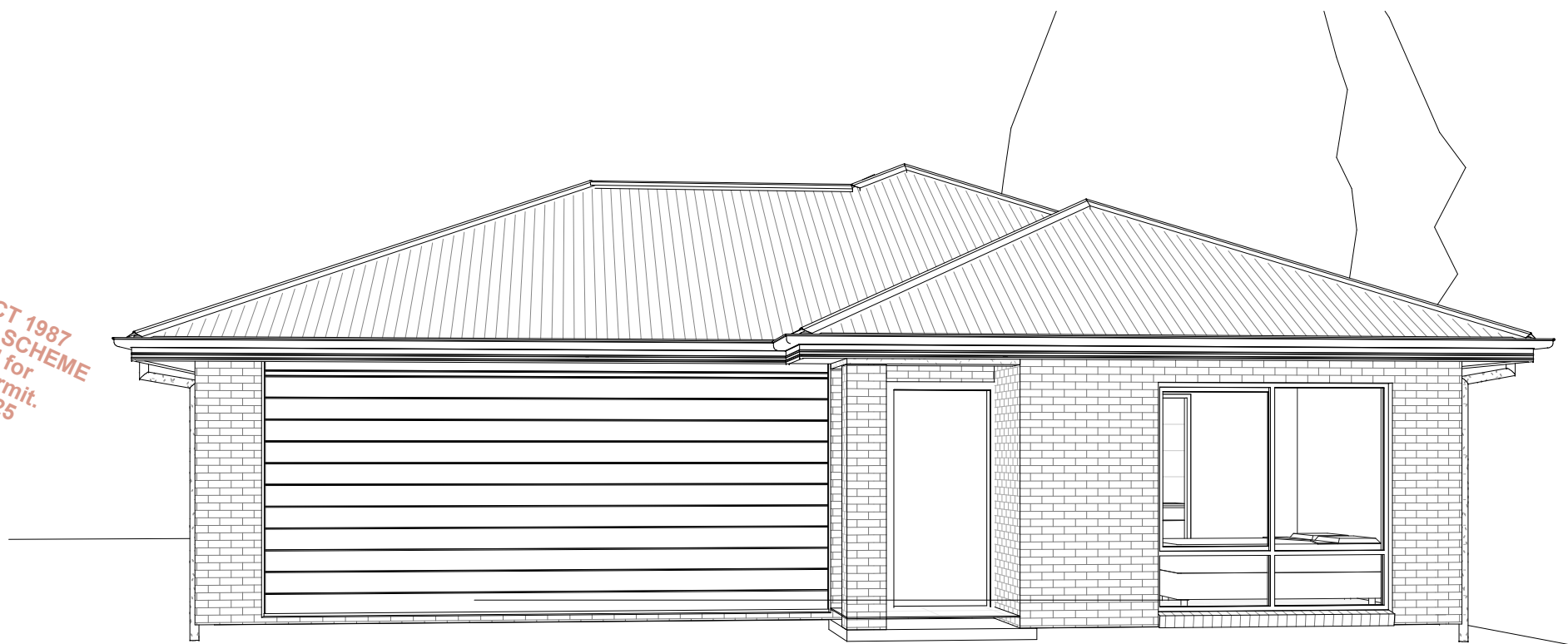
ROOM SCHEDULE

LEVEL	NAME	AREA	PERIMETER	FLOOR FINISH	CLASS	CEILING FINISH	BASE FINISH
GROUND FLOOR	ALFRESCO	11 m ²	13.6 m	CONCRETE			
GROUND FLOOR	BATH	5 m ²	8.8 m	TILES			
GROUND FLOOR	BED 1	13 m ²	14.3 m	TIMBER			
GROUND FLOOR	BED 2	14 m ²	14.7 m	TIMBER			
GROUND FLOOR	BED 3	11 m ²	13.1 m	TIMBER			
GROUND FLOOR	DINING	10 m ²	13.3 m	TIMBER			
GROUND FLOOR	ENS	5 m ²	10.0 m	TILES			
GROUND FLOOR	ENTRY	11 m ²	21.5 m	TIMBER			
GROUND FLOOR	GARAGE	40 m ²	25.2 m	CONCRETE			
GROUND FLOOR	HALL	4 m ²	9.8 m	TIMBER			
GROUND FLOOR	KITCHEN	8 m ²	13.0 m	TIMBER			
GROUND FLOOR	LAUNDRY	4 m ²	8.4 m	TILES			
GROUND FLOOR	LIVING	14 m ²	15.1 m	TIMBER			
GROUND FLOOR	PORCH	2 m ²	5.5 m	TILES			
		151 m ²	186.3 m				
		151 m ²	186.3 m				

SITE COVER

NAME	AREA	COVER
ALFRESCO	11.3	2%
GARAGE	43.9	8%
LIVING	113.7	20%
PORCH	1.9	0%
	170.7	29%
DRIVEWAY	46.3	8%
PATH	15.3	3%
PATH	33.8	6%
PERMEABLE	60.3	10%
PERMEABLE	40.2	7%
PERMEABLE PRIVATE OPEN SPACE	214.6	37%
	410.5	71%
	581.2	100%

PLANNING & ENVIRONMENT ACT 1987
WEST WIMMERA SHIRE PLANNING SCHEME
The plan/application is endorsed for
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Permit No: PA1192 Date: 15/08/2025
(West Wimmera Shire Council)



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BEFORE BUILDING COMMENCES

VIC REG NO
DP-AD 59100

ILLUSTRATION
ONLY

WEST WIMMERA 3BR HOME
LOT 3 PATERSON STREET KANIVA
VIC 3419

 **ALEXSTAR**
BUILDING DESIGN

e geoff@alexstar.com.au
mob 0400 251 245

LOT 3 PATERSON STREET KANIVA
VIC 3419

FINISHES SCHEDULE PREFIXES

B	BALUSTRADE
BEN	BENCHTOP
CAB	CABINETRY
CF	CEILING FINISH
EL	ELECTRICAL
FF	FLOOR FINISH
FR	FRAMING
GF	GENERAL FINISH
GN	GENERAL NOTE
H	HEATING
J	JOINERY
P	POOL
PL	PLUMBING
RF	ROOFING
SF	SOFT FURNISHINGS
SITE	SITWORKS
SL	SOPHIT LINING
SS	STRUCTURE
SV	SERVICES
WDF	WINDOW FRAMING
WF	WALL FINISH
WP	WALL PLINTH/BANDING

REVISION SCHEDULE

NUMBER	DATE	DESCRIPTION
A	5/1/25	FOR INITIAL COMMENT
B	15/1/25	ADJUST WINDOW HEADS AND SIZES
C	16/04/25	CHANGE BOUNDARY, SHIFT DWELLING OUT OF AREA OF CONFLICT WITH SIG TREE, CHANGE LOT NO TO NEW LOT NO, ADD SHADOW DIAGRAMS, ADD AREA PLAN, ADD RAIN WATER TANK, ADD ADDITIONAL ELEVATION NOTES AND DIMENSIONS
D	06/05/25	CHANGE SOLAR STUDIES TO 22ND SEPTEMBER
E		
F		
G		
H		
I		
J		
K		

PLANNING & ENVIRONMENT ACT 1987
The Planning & Environment Planning Scheme
NOTICE in relation to the below Permit.
Permit No: 15/08/2025
(West Wimmera Shire Council)

ROOM SCHEDULE							
LEVEL	NAME	AREA	PERIMETER	FLOOR FINISH	CLASS	CEILING FINISH	BASE FINISH
GROUND FLOOR	ALFRESCO	11 M ²	13.6 M	CONCRETE			
GROUND FLOOR	BATH	5 M ²	8.8 M	TILES			
GROUND FLOOR	BED 1	13 M ²	14.3 M	TIMBER			
GROUND FLOOR	BED 2	14 M ²	14.7 M	TIMBER			
GROUND FLOOR	BED 3	11 M ²	13.1 M	TIMBER			
GROUND FLOOR	DINING	10 M ²	13.3 M	TIMBER			
GROUND FLOOR	ENS	5 M ²	10.0 M	TILES			
GROUND FLOOR	ENTRY	12 M ²	21.6 M	TIMBER			
GROUND FLOOR	GARAGE	40 M ²	25.2 M	CONCRETE			
GROUND FLOOR	HALL	4 M ²	9.8 M	TIMBER			
GROUND FLOOR	KITCHEN	8 M ²	13.1 M	TIMBER			
GROUND FLOOR	L'DRY	4 M ²	8.4 M	TILES			
GROUND FLOOR	LIVING	14 M ²	15.1 M	TIMBER			
GROUND FLOOR	PORCH	2 M ²	5.5 M	TILES			
		151 M ²	186.4 M				
		151 M ²	186.4 M				

BUILDING AREAS		
LEVEL	NAME	AREA
GROUND FLOOR	GARAGE	43.9
GROUND FLOOR	ALFRESCO	11.3
GROUND FLOOR	PORCH	1.9
GROUND FLOOR	LIVING	113.7
		170.7

SHEET LIST	
SHEET NUMBER	SHEET NAME
0	TITLE
00	COVER
P19	SOLAR STUDY
WD01	SITE PLAN
WD02	GROUND FLOOR PLAN
WD04	NORTH & EAST ELEVATION
WD05	SOUTH & WEST ELEVATION
WD15	AREAS

WINDOW SCHEDULE								
LEVEL	MARK	TYPE	HEIGHT	WIDTH	SILL HEIGHT	HEAD HEIGHT	COMMENTS	ROOM
GROUND FLOOR	1	2057.2170 ASW	2057	2170	43	2100		BED 1
GROUND FLOOR	2	0514.24 ASW	514	2410	1586	2100		GARAGE
GROUND FLOOR	3	2057.850 ASW	2057	850	43	2100		KITCHEN
GROUND FLOOR	4	2057.1690 ASW	2057	1690	43	2100		DINING
GROUND FLOOR	5	18.1450 ASW	1800	1450	300	2100		LIVING
GROUND FLOOR	6	1457.1450 ASW	1457	1450	643	2100		BED 2
GROUND FLOOR	7	0857.085 ASW	857	850	1243	2100		BATH
GROUND FLOOR	8	0857.06 ASW	857	610	1243	2100		L'DRY
GROUND FLOOR	9	1029.1450 ASW	1029	1450	1071	2100		BED 3
GROUND FLOOR	10	0857.1450 ASW	857	1450	1243	2100		ENS

DOOR SCHEDULE								
LEVEL	MARK	TYPE	WIDTH	HEIGHT	SILL HEIGHT	HEAD HEIGHT	COMMENTS	ROOM
GROUND FLOOR	1	920.2040	920	2040	0	2040	ZERO TRANSITION ENTRY	ENTRY
GROUND FLOOR	2	23.5210 PANEL DOOR	5200	2375	-25	2350		GARAGE
GROUND FLOOR	3	21.2750 FXF ASD	2750	2130	-30	2100	ASD	LIVING
GROUND FLOOR	4	870.2040	870	2040	0	2040		L'DRY
GROUND FLOOR	5	870.2040	870	2040	0	2040		BED 1
GROUND FLOOR	6	870.2040 CS	870	2040	0	2040	CAV SL	ENS
GROUND FLOOR	7	870.2040	870	2040	0	2040		BED 3
GROUND FLOOR	8	870.2040	870	2040	0	2040		GARAGE
GROUND FLOOR	9	870.2040	870	2040	0	2040		L'DRY
GROUND FLOOR	10	09.24	900	2400	0	2400	OPENING	HALL
GROUND FLOOR	11	870.2040	870	2040	0	2040		BATH
GROUND FLOOR	12	870.2040	870	2040	0	2040		BED 2

REVISIONS

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WEST WIMMERA

LOT 3 PATERSON STREET KANIVA
VIC 3419

SCALE
(A3)
DRAWING
TITLE

ISSUE:
PLANNING

PROJECT NUMBER
24-49

DATE
31/12/24

NO
0

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VIC REG DP-AD 59100

e geoff@alexstar.com.au
mob 0400 251 245

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COMMENCES

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REVISIONS

REV D
06/05/25

WEST WIMMERA

3BR HOME

LOT 3 PATERSON
STREET KANIVA
VIC 3419

PROJECT NUMBER
24-49

DATE
31/12/24

SCALE
1 : 200 (A3)

DRAWING
SITE PLAN

ISSUE:
PLANNING

NO
WD01

VIC REG
DP-AD 59100

SITE COVER		
NAME	AREA	COVER
ALFRESCO	11.3	2%
GARAGE	43.9	8%
LIVING	113.7	20%
PORCH	1.9	0%
	170.7	30%
DRIVEWAY	30.1	5%
PATH	50.3	9%
PERMEABLE	30.9	5%
PERMEABLE	59.6	10%
PERMEABLE PRIVATE OPEN SPACE	235.0	41%
	406.0	70%
	576.7	100%

TREE PROTECTION ZONE




SITE NOTES

SITE WORKS, LEVELS AND STORM WATER DRAINAGE AS NOTED, WHERE ENGINEERS REPORT AVAILABLE, ENGINEERS DETAILS TAKE PRECEDENCE
BUILDER TO CONFIRM TBM AND FINISHED FLOOR LEVELS PRIOR TO COMMENCING

THE PROPERTY BOUNDARY IS TO BE PEGGED BY A LICENSED SURVEYOR PRIOR TO COMMENCING. IF ANY DISCREPANCIES OCCUR FROM THE TITLE DETAILS, NOTIFY THIS OFFICE. SURVEYORS DETAILS TAKE PRECEDENCE

ALL TRADES TO ENSURE THAT THEY HAVE THE CURRENT DIAL BEFORE YOU DIG INFORMATON PRIOR TO COMMENCING SITE WORKS

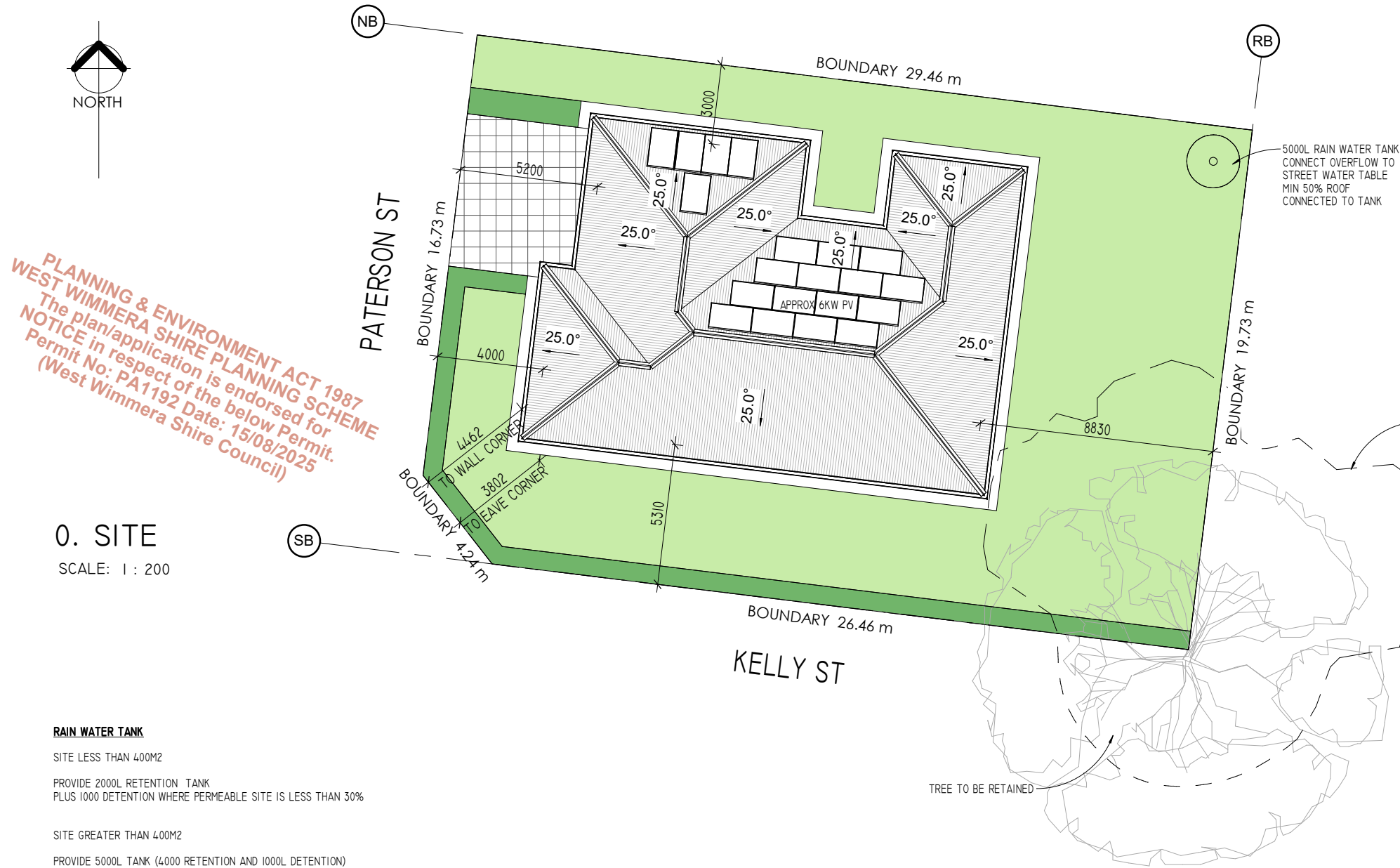
1000L RAIN WATER TANK TO BE CONNECTED TO NEAREST WC OR LAUNDRY COLD WATER
BUILDER TO PROVIDE LOOP FOR OWNER TO CONNECT - TANK AND STORM WATER - BY OWNER
WHERE RETICULATED 'PURPLE' WATER IS AVAILABLE RAIN WATER TANK NOT REQUIRED
ALL LANDSCAPING AND EXTERNAL WORKS INDICATIVE AND TO BE DONE BY OWNER AFTER HAND OVER
ALL FENCING - BY OWNER
BUILDER TO PROVIDE DOWNPIPES TO REBATE LEVEL - STORMWATER BY OWNER

	PAVING - BY OWNER
	GRASS - BY OWNER
	LANDSCAPING - BY OWNER

CORROSION MODERATE = GREATER THAN 1KM FROM BREAKING SURF OR 100M FROM NON-BREAKING SURF
CORROSION SEVERE = LESS THAN 1KM FROM BREAKING SURF, OR 100M FROM NON-BREAKING SURF

SITE CONDITIONS	
CORROSION ZONE	NA
DESIGN WIND SPEED	N3
BUSHFIRE ZONE (BAL)	12.5
ENCUMBRANCE	NO

TBM & FFL SUBJECT TO ENGINEERS SITE AND DRAINAGE PLAN



RAIN WATER TANK

SITE LESS THAN 400M2

PROVIDE 2000L RETENTION TANK
PLUS 1000 DETENTION WHERE PERMEABLE SITE IS LESS THAN 30%

SITE GREATER THAN 400M2

PROVIDE 5000L TANK (4000 RETENTION AND 1000L DETENTION)

DETENTION TO BE PROVIDED TROUGH 25MM MAX DIAMETER SLOW RELEASE ORIFICE

WHERE GREATER THAN 35% OF THE SITE IS PERVIOUS TO WATER, TANK TO BE FULLY RETENTION

LANDSCAPING NOTES

ALL LANDSCAPING SHOWN IS INDICATIVE AND SUBJECT TO CHANGE ON SITE WHEN MORE DETAIL IS AVAILABLE

BUILDING WORKS CONTRACT ONLY TO THE EXTERIOR OF THE BUILDING LINE, UNLESS SPECIFICALLY NOTED IN THE CONTRACT

ALL LANDSCAPING, FENCING AND RETAINING IS BY OWNER AFTER HAND OVER, UNLESS SPECIFICALLY NOTED IN THE CONTRACT

STORM WATER AND RAIN WATER TANK - BY OWNER - DOWNPIPES TO GROUND LEVEL BY BUILDER

SWIMMING POOL AND FENCING - BY OWNER

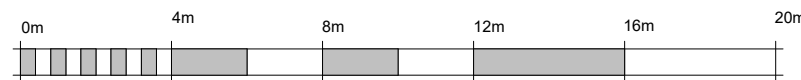
ANY LANDSCAPING IN TURN KEY PROJECTS TO BE SPECIFICALLY NOTED IN CONTRACT OR VARIATION

PLANTING SCHEDULE

ALLOTMENT SIZE 450-800M2 1 MEDIUM TREE OR 2 SMALL TREES
ALLOTMENT SIZE GREATER THAN 800M2 1 LARGE TREE OR 2 MEDIUM TREES OR 4 SMALL TREES

SMALL TREE - 4M HIGH 2M SPREAD - 10M2 SOIL MIN 1.5M DIMENSION
MEDIUM TREE - 6MHEIGHT 4M SPREAD - 30M2 SOIL, 2M MIN DIMENSION
LARGE TREE - 12M HEIGHT 8M SPREAD - 60M2 SOIL AND 4M MIN DIMENSION

LARGE TREES	MEDIUM TREES	SMALL TREES
SILVER BIRCH GINKO BILOBA MAGNOLIA GRANDIFLORA	SILVER BIRCH CERCIS FOREST PANSY MAGNOLIA TEDDY BEAR LILLY PILLY	MAGNOLIA TEDDY BEAR JAPANESE MAPLE LILLY PILLY PITTOSPORUM



VISUAL SCALE 1:200 @ A3

DO NOT SCALE DRAWINGS
WRITTEN DIMENSIONS TO TAKE PRECEDENCE

* BUILDING SHALL BE PROTECTED AGAINST TERMITE ATTACK IN ACCORDANCE WITH AS3660.1-2014 AND PROVIDED WITH A DURABLE NOTICE IN ACCORDANCE WITH PART 3.4.3 OF ABCB HOUSING PROVISIONS 2022.

* WHERE A PERIMETER TERMITE BARRIER IS INSTALLED THE HEIGHT OF THE FINISHED CONCRETE LEVEL OF THE SLAB MUST NOT BE LESS THAN 35MM ABOVE THE FFL.

* WHERE A PERIMETER TERMITE BARRIER IS NOT INSTALLED THE HEIGHT OF THE SLAB EDGE REBATE MUST NOT BE LES THAN 75MM ABOVE THE FINISHED PAVED AREA.

* SARKING TO EXTERNAL HEBEL WALLS SHALL BE INSTALLED IN ACCORDANCE WITH AS/NZS 4200.1 & 2

* ROOF SARKING TO HAVE A FLAMMABILITY INDEX NOT GREATER THAN 5

* GLAZING SHALL BE SELECTED AND INSTALLED IN ACCORDANCE WITH AS1288 - 2021 AND AS2047 FOR EXTERNAL GLAZING

* SMOKE DETECTORS SHALL COMPLY WITH AS3786-2014, BE CONNECTED TO CONSUMER MAINS POWER AND BE INTERCONNECTED WHERE THERE IS MORE THAN ONE.

* WATERPROOFING TO WET AREAS WILL BE IN ACCORDANCE WITH AS3740-2021 & 10.8.12 OF HOUSING PROVISIONS 2022

* THE FLOOR OF A WET AREA CONTAINING A VESSEL MUST BE GRADED TO THE FLOOR WASTE UNLESS ALL VESSELS ARE PROVIDED WITH IN-BUILT OVERFLOW PROTECTION OR HAVE PERMANENT OPEN BAPPED CONNECTION TO THE PLUMBING IN ACCORDANCE WITH HOUSING PROVISION SA10.2.35

* WC DOORS SHALL BE PROVIDED WITH LIFT-OFF REMOVABLE HINGES

* ALL WC SHALL BE PROVIDED WITH A MECHANICAL EXHAUST FAN

* MECHANICAL EXHAUST FANS SHALL ACHIEVE FLOW RATES OF 25L/S IN BATHROOM OR WC; AND 40L/S IN A KITCHEN AND LAUNDRY

* EXHAUST FANS SHALL DISCHARGE DIRECTLY VIA SHAFT OR DUCT TO OUTDOOR AIR, OR TO VENTILATED ROOF SPACE IN ACCORDANCE TO PART 10.8.2

* EAVE GUTTERS SHALL BE PROVIDED WITH CONTINUOUS OVERFLOW PROVISIONS IN ACCORDANCE WITH BCA-TABLE 7.4.4A (HOUSING PROVISIONS 2022)

* GLASS BALUSTRADE TO BALCONY SHALL HAVE A HANDRAIL ALONG THE TOP EDGE OF THE GLAZED PANELS IN ACCORDANCE WITH AS1288-2021

* PARAPETS SHALL BE PROVIDED WITH A METAL CAPPING EXTENDING DOWN 50MM EACH SIDE AND PROVIDED WITH SARKING IN ACCORDANCE WITH PART 7.5.8 OF THE ABCB HOUSING PROVISIONS 2022.

* THE BUILDING WORK IS TO BE CARRIED OUT IN STRICT ACCORDANCE WITH THE ENGINEERS FOOTING CONSTRUCTION REPORT INCLUDING CONDITIONS AND MANDATORY INSPECTION REQUIREMENTS.

* SUB-FLOOR VENTILATION MUST BE MAINTAINED AT ALL TIMES. THE MINIMUM REQUIREMENTS ARE 6,000MM² PER METRE OF WALL OR 3,000MM² IF THE GROUND UNDER THE DWELLING IS SEALED WITH A MEMBRANE. THERE MUST BE ATLEAST 400MM CLEARANCE FROM GROUND TO THE BOTTOM OF THE BEARER.

* CORROSION PROTECTION REQUIRED WHERE SITE IS WITHIN 1KM OF A NON SURF COAST OR 10KM OF A SURF COAST. MASONRY VENEER TO BE CONSTRUCTED USING STAINLESS STEEL WALL TIES & HOT DIP GALV LINTELS.

* STRUCTURAL STEEL IS TO BE PROVIDED WITH A PROTECTIVE COATING IN ACCORDANCE WITH TABLE 6.3.9A, 6.3.9b & 6.3.9C OF THE ABCB HOUSING PROVISIONS.

* METAL ROOF SHEETING IS TO BE PROVIDED WITH A METAL COATING IN ACCORDANCE WITH 7.2.2A OF THE ABCB HOUSING PROVISIONS.

* WHERE SITE IS WITHIN 100M OF A NON-SURF COAST OR 1KM OF A SURF COAST, AS3700 TABLE 5.1 & APP F REQUIRES M4 (1:0.5:4.5) MORTAR, GRADE 316L STAINLESS STELL TIES OR ENGINEERED POLYMER TO AS/NZS 2699.1 AND LINTELS TO DURABILITY CLASS R4.

* STAIRS TO BE PROPRIETRY ACCREDITED SYSTEM, STAIRLOCK OR SIMILAR CONSTRUCTED IN STRICT ACCORDANCE WITH PART 11.2 OF THE ABCB HOUSING PROVISIONS. RISER & GOA DIMENSIONS AND SLOPE RELATIONSHIP AS PER TABLE 11.2.2A

* TREADS ARE TO BE PROVIDED WITH A NOSING STROP WITH A SLIP-RESISTANCE CLASSIFICATION NOT LESS THAN THAT LISTED IN TABLE 11.2.4 WHEN TESTED IN ACCORDANCE WITH AS 4586.

* RISERS TO BE OPAQUE OR HAVE MAXIMUM RISER OPENINGS OF 125MM.

* BALUSTRADE FRAMING AND ASSOCIATED CONNECTIONS TO BE DESIGNED IN ACCORDANCE WITH THE LOADING REQUIREMENTS OF AS 1170.1.

NOTE - RANGE HOOD CLEARANCES

GAS COOKTOP CLEARANCE FROM TRIVET TO CABINETS, MINIMUM 650MM
GAS COOKTOP TO RANGE HOOD MIN 750MM
BBQ TO RANGE HOOD 1200MM



GROUND FLOOR

SCALE: 1 : 100

FLOOR PLAN NOTES

ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH THE NCC AND RELEVANT AUSTRALIAN STANDRDS AT THE DATE OF DEVELOPMENT APPLICATION - WHERE AN AUSTRALIAN STANDARD IS REFERENCED THE VERSION THAT IS CURRENTLY CALLED UP IN THE NCC AT THE TIME OF BUILDING CONSENT MUST BE USED

ALL BRICK PIERS TO BE REINFORCED WITH 1/N/6 ROD CENTRALLY AND CONCRETE FILLED, OR TO ENGINEERS DETAILS WHERE PROVIDED, ALL CONTROL JOINTS BY ENGINEER

WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. IF DIMENSIONS ARE UNCLEAR, CONTACT THIS OFFICE FOR CLARIFICATION.

ALL TRADES TO CHECK ALL INFORMATION PRIOR TO COMMENCING OR ORDERING MATERIALS. TRADES ARE RESPONSIBLE FOR THE BUILDABILITY OF THEIR AREA OF EXPERTISE AND TO PROVIDE ALL PRODUCTS NECESSARY FOR THE FINAL FINISHED CONSTRUCTION.

DIMENSIONS WITH ARROW HEADS GENERALLY FINISHES DIMENSIONS. DIMENSIONS WITH DIAGONAL TICK MARK TO STRUCTURAL MATERIALS WHERE UNCLEAR - CONTACT THIS OFFICE

THE DESIGNER DOES NOT TAKE THE RESPONSIBILITY OF THE BUILDER. IT IS THE RESPONSIBILITY OF THE BUILDER TO ENSURE ALL INFORMATION IS CORRECT PRIOR TO CONSTRUCTION AND ENGAGEMENT OF SUPPLIERS. THE BUILDER IS TO ENSURE THAT ALL ASPECTS OF THE BUILDING ARE BUILDABLE AND TO PROVIDE ALL NECESSARY FITTINGS, FIXTURES AND MATERIALS TO ENSURE THAT THE BUILDING IS COMPLETE.

WHERE PRODUCTS ARE TO BE INSTALLED TO MANUFACTURERS SPECIFICATION, IT IS THE BUILDERS RESPONSIBILITY TO ENSURE THOSE DETAILS ARE FOLLOWED. WHERE AN AUSTRALIAN STANDARD OR REQUIREMENT OF THE APPROPRIATE LEGISLATION IS TO BE FOLLOWED, IT IS THE BUILDERS RESPONSIBILITY TO ENSURE THE CORRECT INSTALLATION AND PROCEDURES ARE FOLLOWED.

DOWNPIPES TO BE PROVIDED AT MAXIMUM 12M SPACING AND ADJACENT TO VALLEY GUTTERS. ALL BOX GUTTERS TO HAVE MINIMUM 90MM DOWNPIPES
ALL BOX GUTTERS TO HAVE OVERFLOW DEVICES
ALL FASCIA GUTTERS TO PROVIDE OVERFLOWS AS PER THE DETAILS ON THE GUTTERS AND OVERFLOWS NOTES. WHERE POSSIBLE USE STRATCO DIMPLED STEEL FASCIA BEHIND GUTTERS

BUILDER TO CHECK ALL WINDOW AND DOOR SIZES ALL HEADS TO ALIGN (EXCEPT WHERE SPECIFICALLY SHOWN AS BENCH HEIGHT WINDOWS OR HIGH/LOW LEVEL WINDOWS) CHECK WINDOW/DOOR SCHEDULE - ADJUSTMENTS PERMITTED TO MATCH BRICK COURSING AS NECESSARY

ENCLOSED WC AREAS TO BE PROVIDED WITH ESCAPE HINGES TO THE DOOR, OR THE DOOR SHALL SLIDE OR SWING OUT OF THE ENCLOSURE

ENERGY NOTES

WHERE AN ENERGY REPORT IS PROVIDED - ENERGY REPORT TAKES PRECEDENCE

BUILDING FABRIC

R2.5 INSULATION TO EXTERNAL WALL CAVITIES
R4.0 INSULATION TO CEILING CAVITIES
R2.0 INSULATION TO INTERNAL WALLS
R1.0 INSULATION TO PERIMETER OF FLOOR SLAB IF IN SLAB HEATING/COOLING IS INSTALLED
EXTERNAL GLAZING TO COMPLY WITH THE GLAZING CALCULATOR AS PROVIDED BY ABCB

PV SYSTEM BY OWNER

SERVICES
PROVIDE LOOP FOR CONNECTION OF RAIN WATER TO WC
LIGHT FITTINGS TO BE ENERGY EFFICIENT,
MAX 5W/M2 TO LIVING AREAS - SEE ELECTRICAL LAYOUTS FOR CALCULATIONS
TAPS AND SANITARY FIXTURES WELS 4 STAR OR BETTER
SHOWER ROSES 3 STAR OR BETTER

WHOLE OF HOUSE ASSESSMENT INFORMATION
DUCTED REVERSE CYCLE AC SYSTEM - MIN 5 STAR RATING
USE HIGH EFFICIENCY GAS HOT WATER SERVICE - MIN 5 STAR RATING
GAS COOK TOP - MIN 5 STAR RATING
GAS OVEN - MIN 5 STAR RATING
ALL ROOFS TO BE DESIGNED FOR PV SYSTEM
OWNER TO INSTALL MIN 3KW PV SYSTEM AFTER HAND OVER
BATTERY STORAGE - BY OWNER
LIGHTING - TYPICAL 13W LED DOWNLIGHT 2.2W/M2 (2 PER 12M FLOOR AREA)

* THIS HOUSE HAS BEEN DESIGNED FOR STANDARD LOADS
IE. NO A/C - TANKS ON ROOF, NO SOLAR PANLES, NO WATER BEDS ON LIGHTWEIGHT FLOORING, ETC.

SMOKE
ALARM
INTERLINKED HARD WIRED SMOKE ALARMS
MAX 3.5M FROM A BEDROOM DOOR

DUCTED EXHAUST FAN

ALEXSTAR
BUILDING DESIGN

e geoff@alexstar.com.au
mob 0400 251 245

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REVISIONS

REV D
06/05/25

WEST WIMMERA

3BR HOME

LOT 3 PATERSON
STREET KANIVA
VIC 3419

PROJECT NUMBER
24-49

DATE
31/12/24

SCALE
1 : 100 (A3)

DRAWING
GROUND FLOOR PLAN

ISSUE:
PLANNING

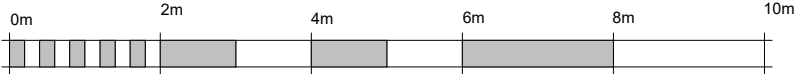
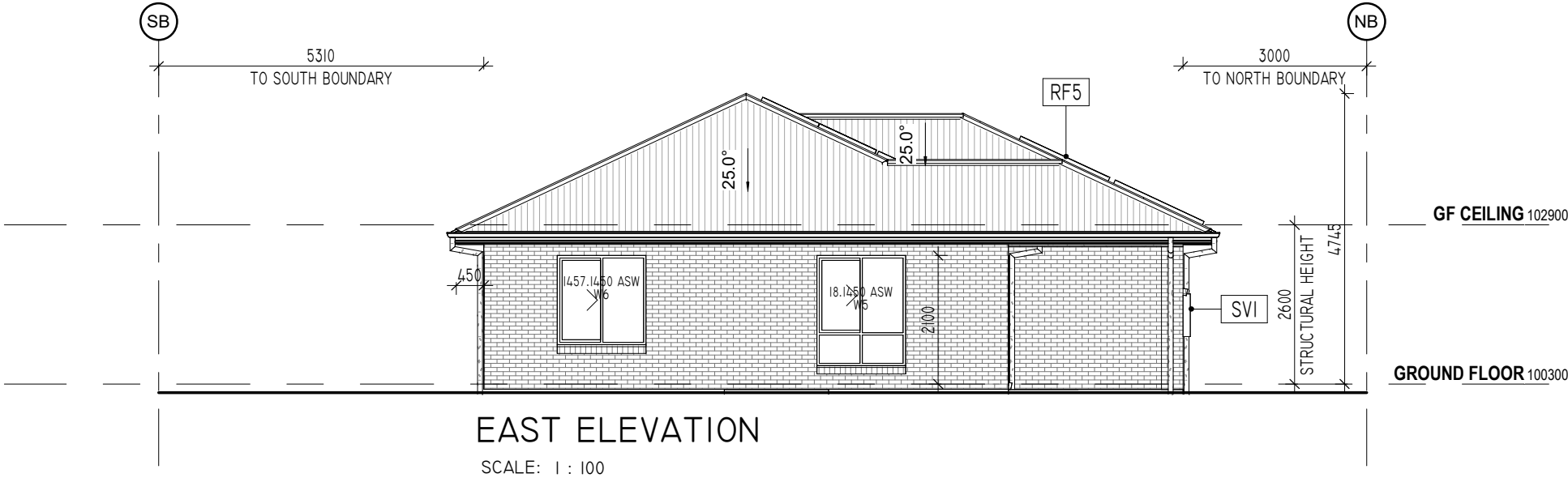
NO
WD02

VIC REG
DP-AD 59100

KEYNOTES	
CODE	DESCRIPTION
RF5	PHOTO VOLTAIC PANELS
SITE1	RAIN WATER TANK
SVI	METER BOXES

FINISHES SCHEDULE	
COLORBOND ROOF -	
COLORBOND FASCIAS AND GUTTERS -	
PANEL LIFT DOOR - MADISON PROFILE -	
ENTRANCE DOOR - FEATURE TIMBER -	
WINDOWS - ALUMINIUM -	
FACE BRICK -	
RENDER -	
FEATURE CLADDING -	

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(West Wimmera Shire Council)



VISUAL SCALE 1:100 @ A3
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mob 0400 251 245
e geoff@alexstar.com.au

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WEST WIMMERA
LOT 3 PATERSON
STREET KANIVA
VIC 3419

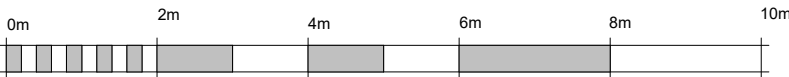
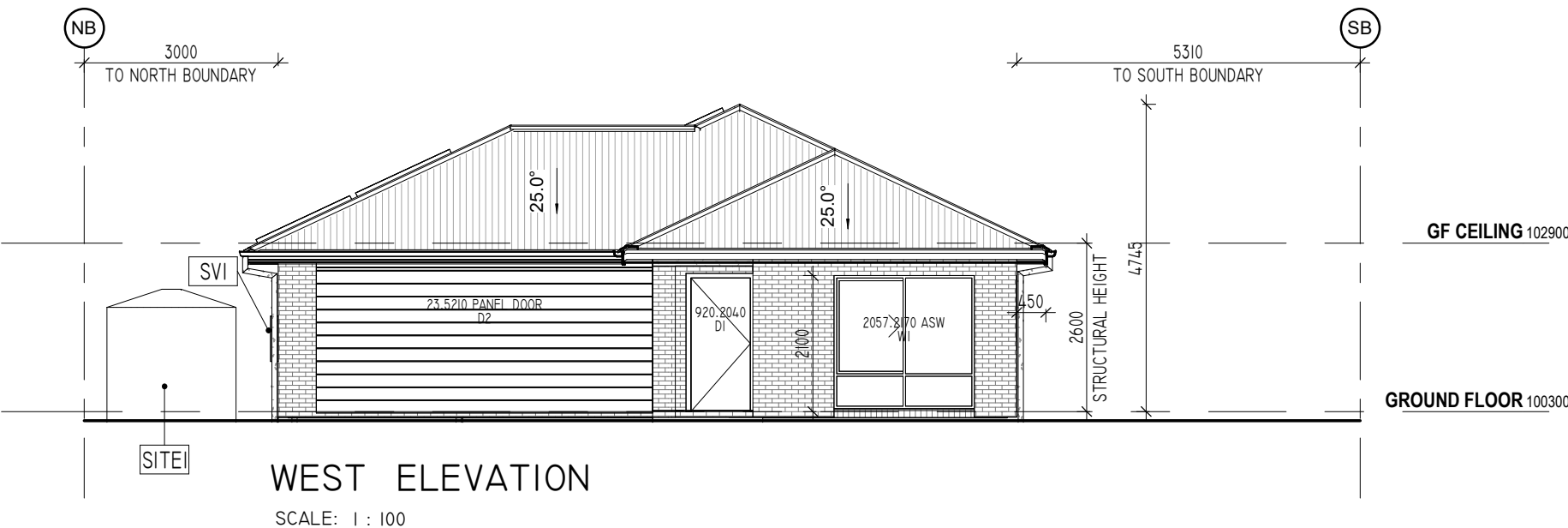
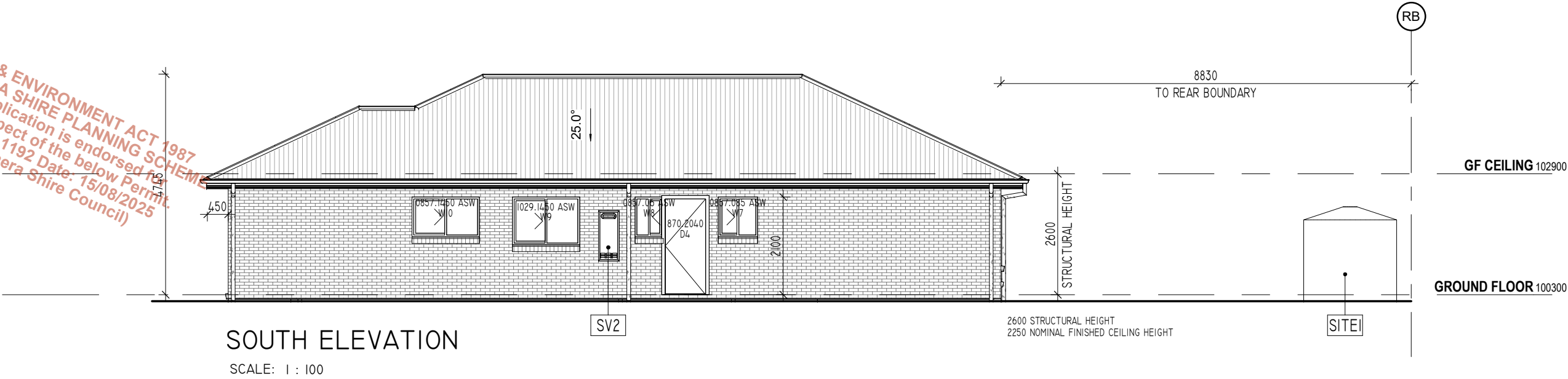
SCALE
1 : 100 (A3)
DRAWING
NORTH & EAST ELEVATION
ISSUE:
PLANNING

PROJECT NUMBER
24-49
DATE
31/12/24
NO
WD04

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KEYNOTES	
CODE	DESCRIPTION
SITE1	RAIN WATER TANK
SVI	METER BOXES
SV2	HOT WATER SERVICE

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LOT 3 PATERSON
STREET KANIVA
VIC 3419

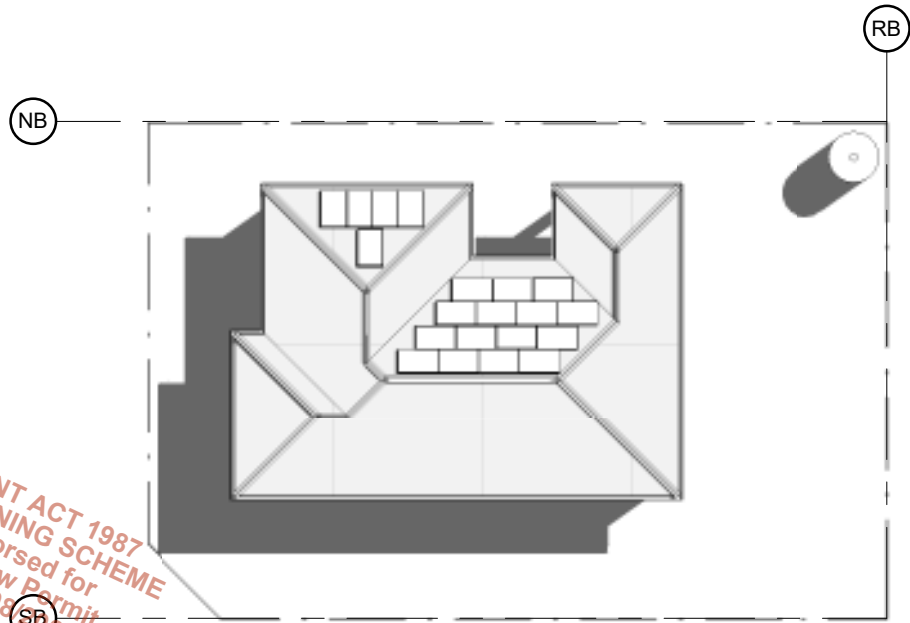
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DRAWING
SOUTH & WEST ELEVATION
ISSUE:
PLANNING

PROJECT NUMBER
24-49
DATE
31/12/24
NO
WD05

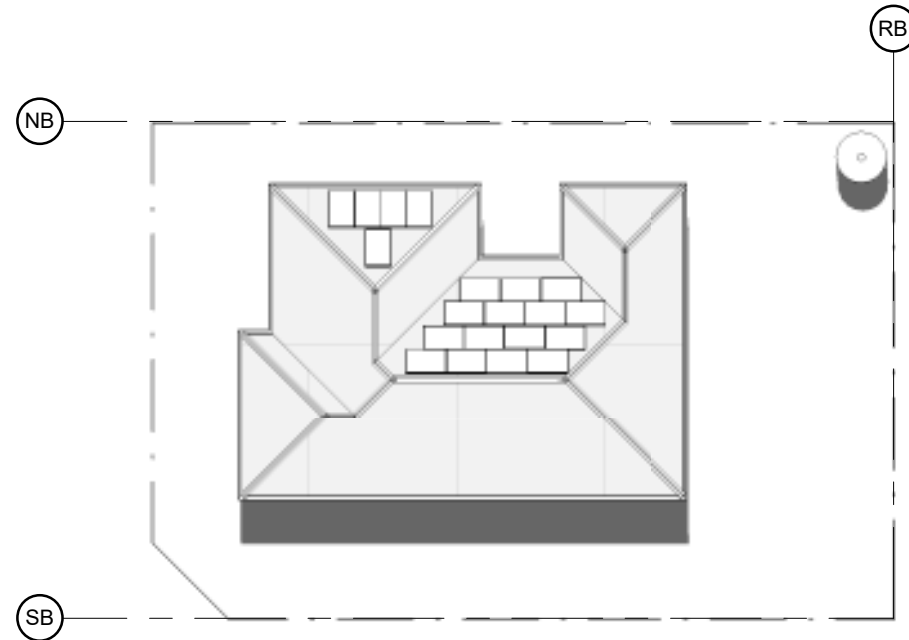
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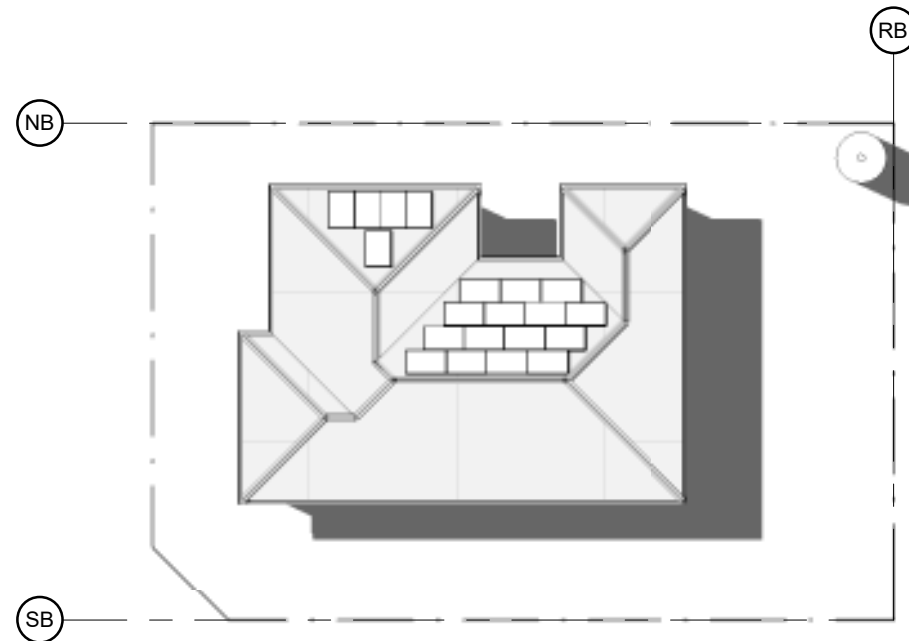
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ZZZ SHADOWS 9AM 22ND SEPTEMBER
SCALE: 1 : 300



ZZZ SHADOWS NOON 22ND SEPTEMBER
SCALE: 1 : 300



ZZZ SHADOWS 3PM 22ND SEPTEMBER
SCALE: 1 : 300

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WEST WIMMERA

3BR HOME

LOT 3 PATERSON
STREET KANIVA
VIC 3419

PROJECT NUMBER
24-49

DATE
31/12/24

SCALE
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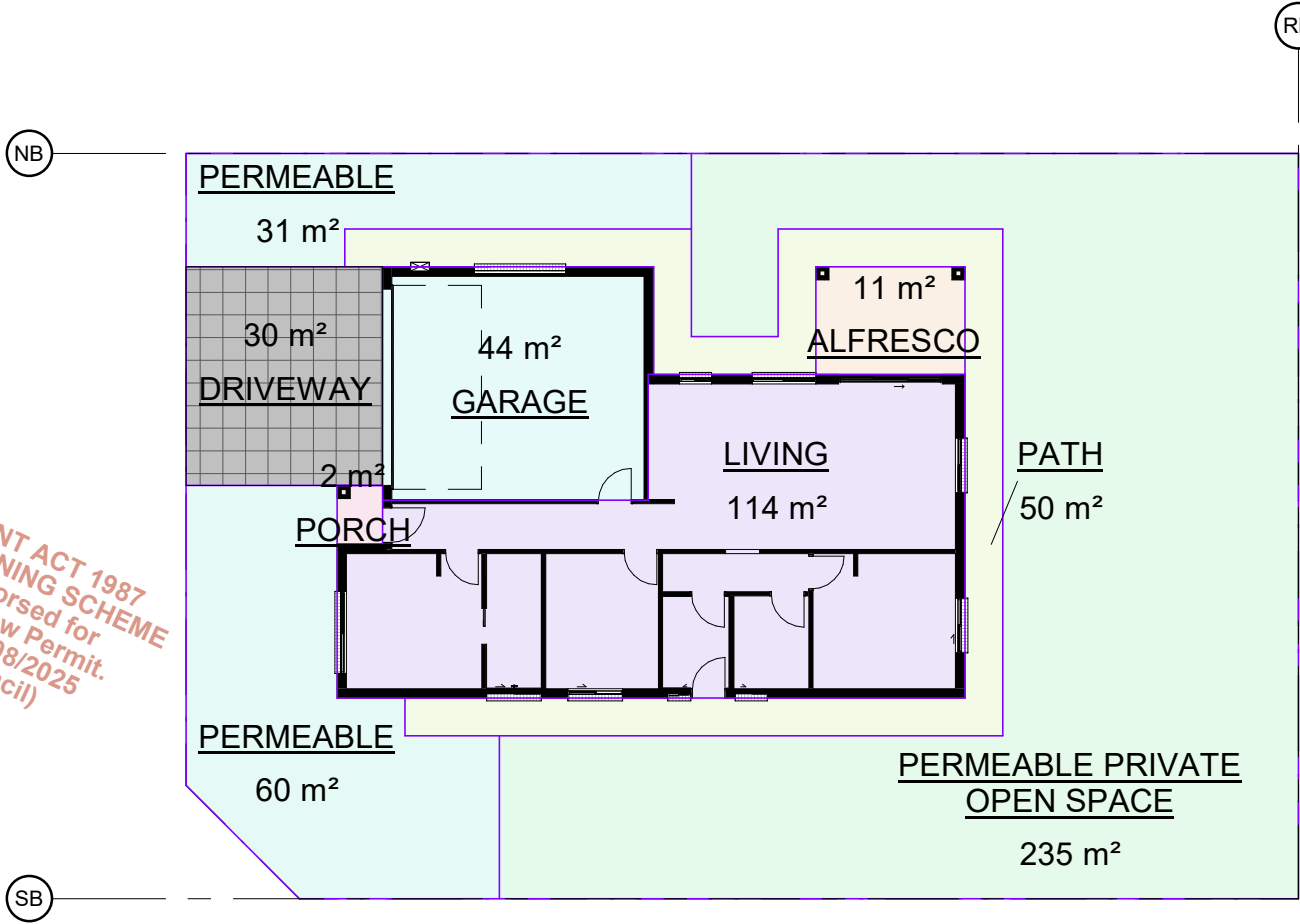
DRAWING
AREAS

ISSUE:
PLANNING

NO
WD15

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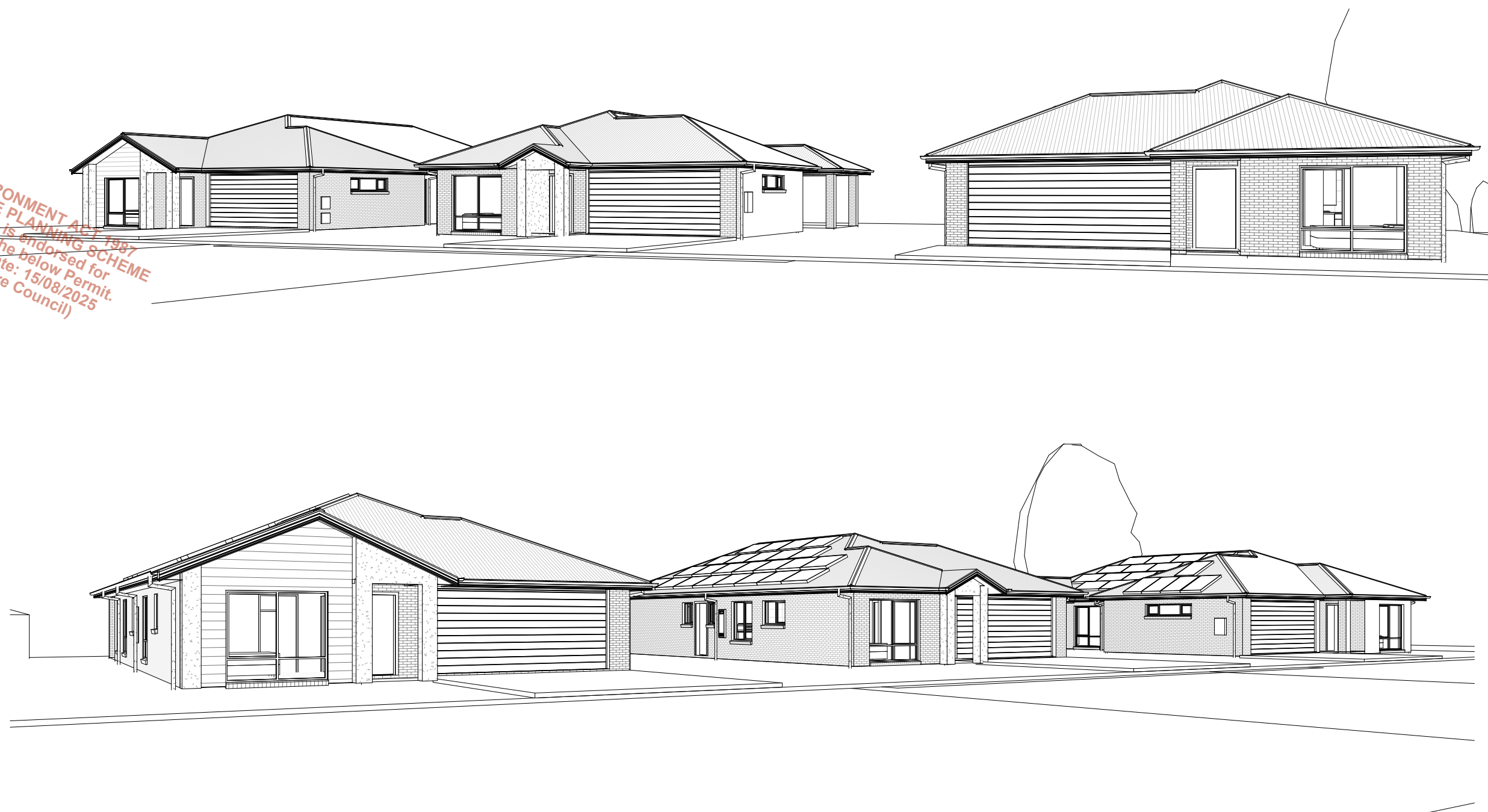
GROUND FLOOR

SCALE: 1 : 200

ROOM SCHEDULE							
LEVEL	NAME	AREA	PERIMETER	FLOOR FINISH	CLASS	CEILING FINISH	BASE FINISH
GROUND FLOOR	ALFRESCO	11 m ²	13.6 m	CONCRETE			
GROUND FLOOR	BATH	5 m ²	8.8 m	TILES			
GROUND FLOOR	BED 1	13 m ²	14.3 m	TIMBER			
GROUND FLOOR	BED 2	14 m ²	14.7 m	TIMBER			
GROUND FLOOR	BED 3	11 m ²	13.1 m	TIMBER			
GROUND FLOOR	DINING	10 m ²	13.3 m	TIMBER			
GROUND FLOOR	ENS	5 m ²	10.0 m	TILES			
GROUND FLOOR	ENTRY	12 m ²	21.6 m	TIMBER			
GROUND FLOOR	GARAGE	40 m ²	25.2 m	CONCRETE			
GROUND FLOOR	HALL	4 m ²	9.8 m	TIMBER			
GROUND FLOOR	KITCHEN	8 m ²	13.1 m	TIMBER			
GROUND FLOOR	L'DRY	4 m ²	8.4 m	TILES			
GROUND FLOOR	LIVING	14 m ²	15.1 m	TIMBER			
GROUND FLOOR	PORCH	2 m ²	5.5 m	TILES			
		151 m ²	186.4 m				
		151 m ²	186.4 m				

SITE COVER		
NAME	AREA	COVER
ALFRESCO	11.3	2%
GARAGE	43.9	8%
LIVING	113.7	20%
PORCH	1.9	0%
	170.7	30%
DRIVEWAY	30.1	5%
PATH	50.3	9%
PERMEABLE	30.9	5%
PERMEABLE	59.6	10%
PERMEABLE PRIVATE OPEN SPACE	235.0	41%
	406.0	70%
	576.7	100%

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VIC REG NO
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ILLUSTRATION
ONLY

WEST WIMMERA SHIRE NEW HOME S
LOT 1, 2, 3 PATERSON ST KANIVA

 **ALEXSTAR**
BUILDING DESIGN

e geoff@alexstar.com.au
mob 0400 251 245

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16/04/25

WEST WIMMERA
SHIRE
NEW HOME S

LOT 1, 2, 3
PATERSON ST
KANIVA

PROJECT NUMBER
24-49

DATE
1/1/21

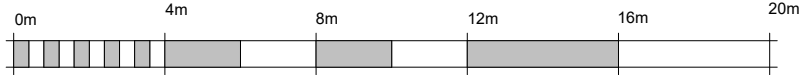
SCALE
1 : 200 (A3)

DRAWING
SITE PLAN

ISSUE:
DESIGN

NO
WD01

VIC REG
DP-AD 59100



VISUAL SCALE 1:200 @ A3

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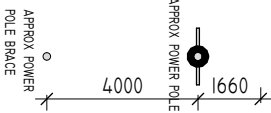
SITE COVER

NAME

AREA

COVER

PATERSON ST



BOUNDARY 20.00 m

BOUNDARY 34.73 m

BOUNDARY 20.00 m

BOUNDARY 34.73 m

BOUNDARY 16.73 m

BOUNDARY 19.73 m

BOUNDARY 4.24 m

BOUNDARY 26.46 m

KELLY ST

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0. SITE
1 : 200